

NGS MONUMENT
MADLINE GRAY
N: 1,173,966.62 FT
E: 2,001,217.48 FT
NAD 83(2011) DATUM
COMBINED FACTOR:
1.00005657

NGS MONUMENT
"TELEPHONE"
N: 1,199,066.47 FT
E: 2,003,274.78 FT
NAD 83(2011) DATUM
COMBINED FACTOR:
1.00005624

- NOTES**
1. THE STREET ADDRESS OF THE PROPERTY IS 2373 LEN PATTERSON ROAD, FORT MILL, SC.
 2. THE TAX PARCEL IDENTIFICATION NUMBER FOR THE SUBJECT PROPERTY IS 652000124.
 3. PROPERTY LINES SHOWN ARE AS PER RECORD PLAT AND/OR DEEDS. NO BOUNDARY SURVEY WAS PERFORMED BY THIS SURVEYOR.
 4. DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
 5. UNADJUSTED RATIO OF PRECISION 1:64,251.
 6. ANY UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BEFORE BEGINNING ANY CONSTRUCTION OR BORINGS, CONTACT THE UTILITIES PROTECTION CENTER AT 1-888-721-7677.
 7. THE PROPERTY SHOWN HEREON WILL HAVE ACCESS TO LEN PATTERSON ROAD VIA AN EXISTING DRIVEWAY.
 8. THIS SURVEY IS REFERENCED TO THE SC STATE PLANE COORDINATE SYSTEM. NAD 83(2011). THE REFERENCE BEARING FOR THIS DRAWING IS ALSO BASED UPON THE SC STATE PLANE COORDINATE SYSTEM, NAD 83(2011).
 9. CONTOUR INTERVAL SHOWN IS ONE FOOT. ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 10. DONALDSON, GARRETT & ASSOCIATES, INC. AND THE LAND SURVEYOR WHOSE SEAL IS AFFIXED HEREON DO NOT GUARANTEE THAT ALL EASEMENTS WHICH MAY AFFECT THIS PROPERTY ARE SHOWN.

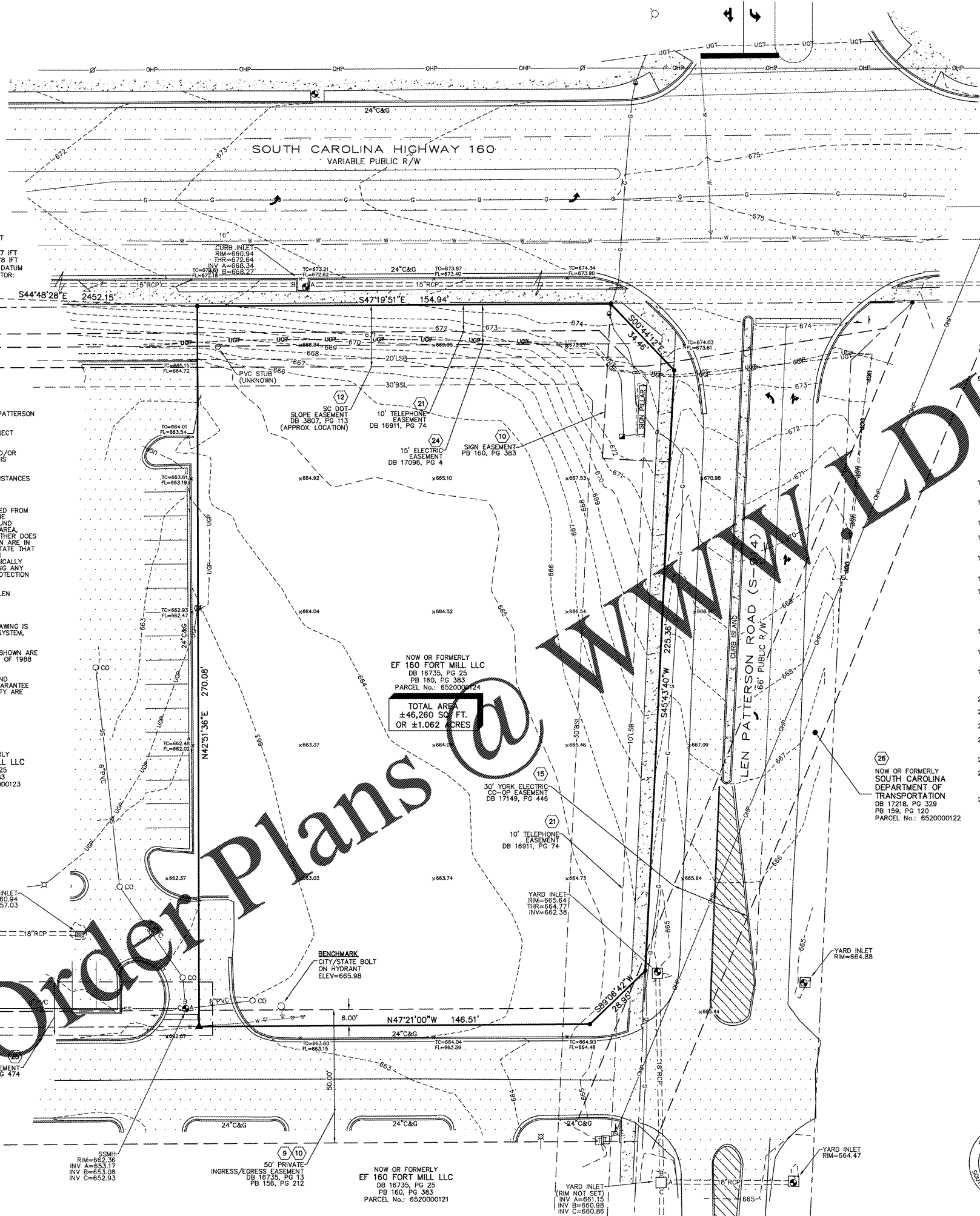
NOW OR FORMERLY
EF 160 FORT MILL LLC
DB 16735, PG 25
PB 160, PG 383
PARCEL No.: 652000123

NOW OR FORMERLY
EF 160 FORT MILL LLC
DB 16735, PG 25
PB 160, PG 383
PARCEL No.: 652000124

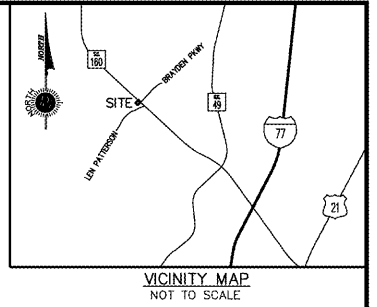
**TOTAL AREA
±46,260 SQ. FT.
OR ±1.062 ACRES**

NOW OR FORMERLY
SOUTH CAROLINA
DEPARTMENT OF
TRANSPORTATION
DB 17218, PG 329
PB 159, PG 120
PARCEL No.: 652000122

Order Plans @



FLOOD ZONE INFORMATION
ACCORDING TO MAPPING PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) PANEL NUMBER 4508100211F, EFFECTIVE DATE: MAY 16, 2017, THE PROPERTY SHOWN HEREON IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. THE PROPERTY IS ENTIRELY WITHIN AN AREA DESIGNATED ZONE X - AREAS OF MINIMAL FLOOD HAZARD.



LEGEND

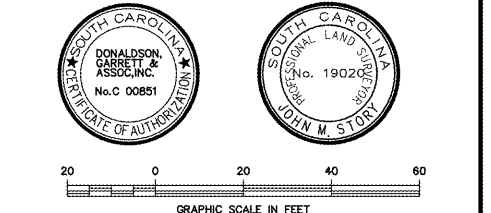
PROPERTY LINE	---
ADJACENT PROPERTY LINE	- - - -
EASEMENT LINE	- . - . - .
BUILDING SETBACK LINE	---
LANDSCAPE BUFFER LINE	---
EXISTING CONTOUR LINE	---
GAS LINE	---
WATER LINE	---
OVERHEAD POWER LINE	---
UNDERGROUND POWER LINE	---
UNDERGROUND TELEPHONE LINE	---
SANITARY SEWER LINE	---
STORM SEWER LINE	---
5/8\"/>	

- SCHEDULE BII EXCEPTIONS**
- FIRST AMERICAN TITLE INSURANCE COMPANY
COMMITMENT NO. 15-111111
EFFECTIVE DATE: JUNE 24, 2019
1. TERMS, PROVISIONS, COVENANTS, RIGHTS OF FIRST REFUSAL, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ENCUMBRANCES, ASSESSMENTS AND LIENS PROVIDED FOR IN DECLARATION AND AGREEMENT OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN BOOK 11729, PAGE 99; SUPPLEMENT AND AMENDMENT TO DECLARATION AND AGREEMENT OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN BOOK 16116, PAGE 203; AND RE-RECORDED IN BOOK 16232, PAGE 119; AS AMENDED BY THAT CERTAIN SECOND SUPPLEMENT AND AMENDMENT(S) TO DECLARATION AND AGREEMENT OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED IN BOOK 16735, PAGE 13, YORK COUNTY REGISTRY, AND ANY RELATED MAPS, PLANS, BYLAWS AND OTHER DOCUMENT(S) AND INSTRUMENT(S), BUT OMITTING ANY COVENANTS OF RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW, AS SHOWN HEREON.
 2. BUILDING RESTRICTION LINES, EASEMENTS AND OTHER MATTERS SHOWN ON PLAT RECORDED IN MAP BOOK 156, PAGE 212 & 160/383, YORK COUNTY REGISTRY, AS SHOWN HEREON.
 3. GRANT OF RIGHT OF WAY FOR STREET OR ROAD TO THE COUNTY OF YORK RECORDED IN BOOK 2102, PAGE(S) 163, YORK COUNTY REGISTRY, [AS TO EASEMENT PARCEL A ONLY] DOES NOT AFFECT SUBJECT PROPERTY.
 4. EASEMENT AGREEMENT RECORDED IN BOOK 11122, PAGE(S) 305, YORK COUNTY REGISTRY, [AS TO EASEMENT PARCEL A ONLY] DOES NOT AFFECT SUBJECT PROPERTY.
 5. EASEMENT AGREEMENT RECORDED IN BOOK 11719, PAGE(S) 85, YORK COUNTY REGISTRY, [AS TO EASEMENT PARCEL A ONLY] DOES NOT AFFECT SUBJECT PROPERTY.
 6. YORK ELECTRIC RIGHT OF WAY RECORDED IN BOOK 17149, PAGE(S) 446, YORK COUNTY REGISTRY, AS SHOWN HEREON.
 7. TERMS, CONDITIONS AND EASEMENTS CREATED UNDER THAT CERTAIN DEED FOR UTILITY SYSTEMS, REAL AND PERSONAL PROPERTY, GRANT OF EASEMENTS AND RIGHTS OF WAY, AND ASSIGNMENT OF EASEMENT AND RIGHT OF WAY RECORDED IN BOOK 12005, PAGE(S) 1, YORK COUNTY REGISTRY, [AS TO EASEMENT PARCEL A ONLY] DOCUMENTS DESCRIBED THEREIN OF EASEMENT LOCATIONS WERE NOT PROVIDED.
 8. RIGHT OF WAY NO. 28 TO POSTAL TELEGRAPH CABLE COMPANY RECORDED IN BOOK 54, PAGE 785 AND BOOK 92, PAGE 268, YORK COUNTY REGISTRY. BLANKET EASEMENTS, UNABLE TO DETERMINE LOCATION AND/IF AFFECTS SUBJECT PROPERTY.
 9. EASEMENT(S) TO FORT MILL TELEPHONE COMPANY RECORDED IN BOOK 331, PAGE(S) 255, YORK COUNTY REGISTRY. UNABLE TO DETERMINE LOCATION OF EASEMENT AND/IF AFFECTS SUBJECT PROPERTY.
 10. TERMS AND CONDITIONS OF THAT CERTAIN LEASE BY AND BETWEEN EF 160 FORT MILL, LLC, AS LANDLORD, AND EARTH FARE, INC., AS TENANT, AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF LEASE RECORDED IN BOOK 16735, PAGE(S) 32, YORK COUNTY REGISTRY. DOES NOT AFFECT SUBJECT PROPERTY.
 11. NOTICE OF COMMENCEMENT RECORDED IN BOOK 449, PAGE(S) 248, YORK COUNTY REGISTRY. NO MATTERS TO SHOW.
 12. GENERAL EASEMENT TO COMPTON - FORT MILL TELEPHONE COMPANY RECORDED IN BOOK 16911, PAGE(S) 74, YORK COUNTY REGISTRY, AS SHOWN HEREON.
 13. EXCEPTIONS CONTAINED IN DEED RECORDED IN BOOK 16735, PAGE(S) 25, YORK COUNTY REGISTRY.
 14. EASEMENT(S) TO YORK COUNTY NATURAL GAS AUTHORITY DEVELOPER AGREEMENT FOR NATURAL GAS DISTRIBUTION SERVICE RECORDED IN BOOK 17013, PAGE(S) 233, YORK COUNTY REGISTRY. BLANKET EASEMENT ACROSS SUBJECT PROPERTY.
 15. RIGHT OF WAY EASEMENT RECORDED IN BOOK 17096, PAGE(S) 4, YORK COUNTY REGISTRY, AS SHOWN HEREON.
 16. DEED FOR UTILITY SYSTEMS, REAL AND PERSONAL PROPERTY, GRANT OF EASEMENTS AND RIGHTS-OF-WAY, AND ASSIGNMENT OF EASEMENTS AND RIGHTS-OF-WAY TO COUNTY OF YORK RECORDED IN BOOK 17223, PAGE(S) 474, YORK COUNTY REGISTRY, AS SHOWN HEREON.
 17. DEED TO SOUTH CAROLINA DEPARTMENT OF TRANSPORTATION RECORDED IN BOOK 17218, PAGE(S) 329, YORK COUNTY REGISTRY. FOR THE RE-LOCATION OF LEN PATTERSON ROAD, AS SHOWN HEREON.

SURVEYOR CERTIFICATE
TO MDV ENGINEERING AND FIRST AMERICAN TITLE INSURANCE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-5, 7A, 7C, 8-9, 11A, 13-14 & 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 24, 2019.

I hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown."

John M. Story
John M. Story
South Carolina Professional Land Surveyor No. 19020
June 27, 2019
Date



GPS Real Time Kinematic (RTK) Network Summary:

- I, John M. Story, certify that this map was drawn under my supervision from an actual GPS survey made under my supervision and the following information was used to perform the survey:
- (1) Class of Survey: A
 - (2) Positional accuracy: HORIZONTAL 0.012\"/>

DWN.BY:	JH
CHK.BY:	JMS
FIELDBOOK:	N/A
PLS NO.:	19020

ALTA/NPS LAND TITLE SURVEY
FOR
MDV ENGINEERING
PROPOSED ARBY'S - FORT MILL CROSSING

FORT MILL YORK COUNTY SOUTH CAROLINA

DATE: 6/24/2019
SCALE: 1\"/>