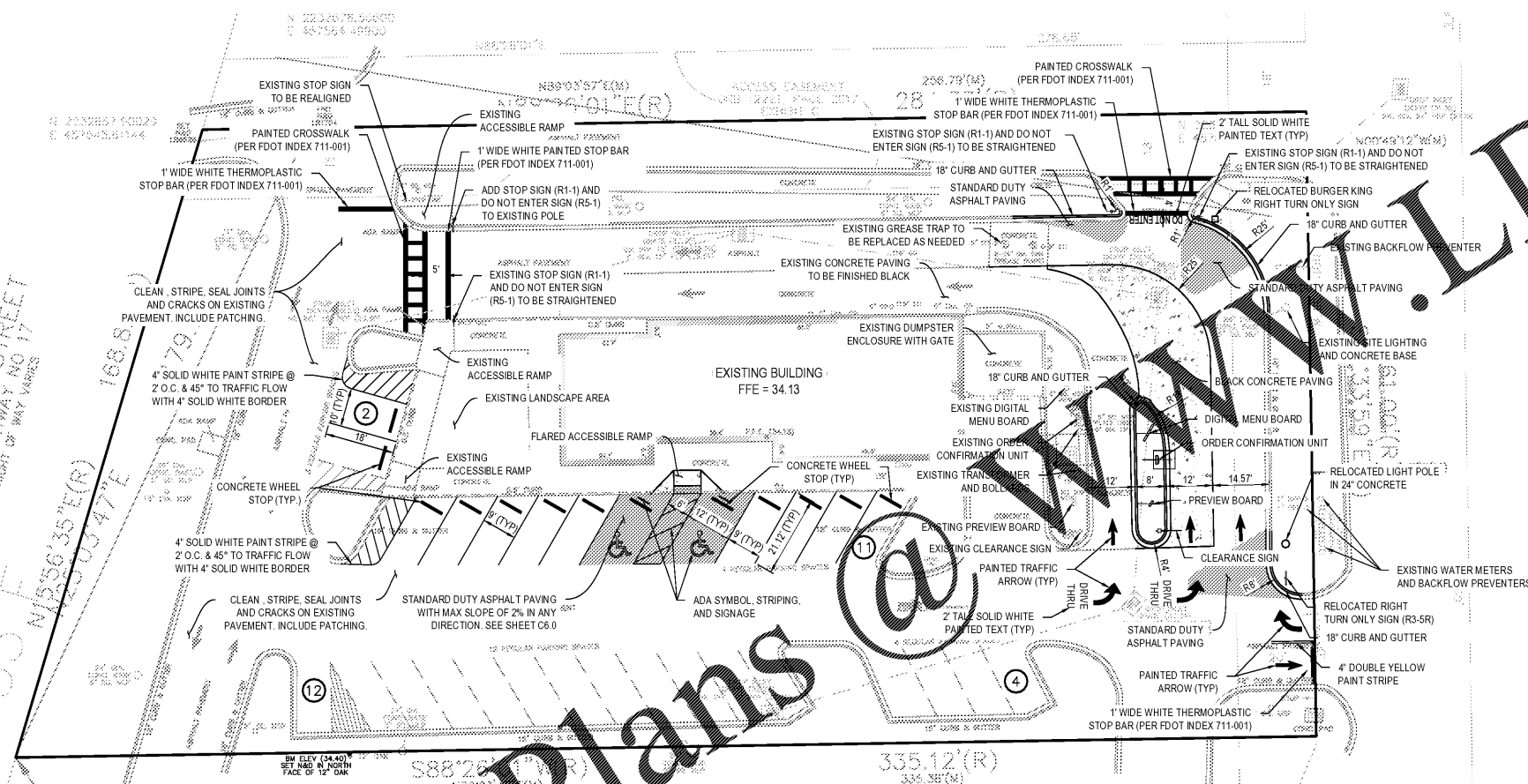


Order Plans



SITE DATA:

STATEMENT OF INTENT:
THE OWNER PROPOSES TO CONSTRUCT A DOUBLE DRIVE THRU AND THE REQUIRED SITE SUPPORT ELEMENTS AND IMPROVEMENTS TO SERVE IT.

SITE ADDRESS: 13049 MAIN ST N
JACKSONVILLE, FL 32218

PARCEL I.D. NUMBER: 107599-0100

SITE TOTAL AREA: 1.15 AC±

EXISTING LAND USE: COMMERCIAL

PROPOSED LAND USE: COMMERCIAL

EXISTING AREA CALCULATIONS:

BUILDING AREA:	3629 S.F.	(7.28%)
PAVED AREA:	34727 S.F.	(69.64%)
TOTAL IMPERVIOUS AREA:	38356 S.F.	(76.92%)
PERVIOUS AREA:	11510 S.F.	(23.08%)
TOTAL:	49866 S.F.	(100%)

PROPOSED AREA CALCULATIONS:

BUILDING AREA:	3629 S.F.	(7.28%)
PAVED AREA:	34727 S.F.	(70.01%)
TOTAL IMPERVIOUS AREA:	38356 S.F.	(77.29%)
PERVIOUS AREA:	1324 S.F.	(22.71%)
TOTAL:	49866 S.F.	(100%)

ZONING: COMMERCIAL COMMUNITY, GENERAL-2 (CCG-2)

FLOOD ZONE: THE ABOVE DESCRIBED PROPERTY IS IN ZONE X, IN ACCORDANCE WITH THE FIRM MAP OF DUVAL COUNTY, COMMUNITY PANEL NUMBER 12031C 0182J. MAP EFFECTIVE DATE NOVEMBER 2, 2018.

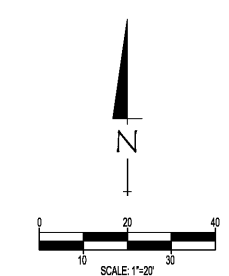
PARKING:

TOTAL PARKING SPACES REQUIRED:	25
ADA PARKING SPACES REQUIRED:	2
EXISTING REGULAR PARKING SPACES:	37
EXISTING ADA PARKING SPACES:	2
PROPOSED REGULAR PARKING SPACES:	27
PROPOSED ADA PARKING SPACES:	2

- GENERAL NOTES:**
1. LBYD, INC. SHALL NOT HAVE AUTHORITY OVER THE SITE OR BUILDING CONTRACTOR'S WORK OR RESPONSIBILITIES. LBYD IS NOT RESPONSIBLE FOR SITE SAFETY PROCEDURES OR METHODS OF CONSTRUCTION.
 2. ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND OTHER UTILITIES MAY EXIST. CONTRACTOR MUST HAVE EXISTING UTILITIES LOCATED BY UNDERGROUND LINE LOCATORS AS WELL AS FIELD VERIFIED BY ONSITE PERSONNEL PRIOR TO ORDERING MATERIALS OR BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO LBYD IMMEDIATELY.
 3. EXISTING UTILITIES TO REMAIN MAY BE LOCATED WITHIN PROPOSED DEMOLITION AREAS. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING IN THESE AREAS TO ENSURE NO UTILITIES ARE SERVED. INTERFERENCES TO FACILITIES THAT REMAIN OR ADJACENT PROPERTIES.
 4. ALL EXISTING IMPROVEMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO REMAIN UNLESS SPECIFICALLY NOTED TO BE REMOVED.
THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES AND IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 5. CONTRACTOR SHALL VERIFY SITE BOUNDARY AND EXISTING TOPOGRAPHY. NOTIFY LBYD OF ANY DISCREPANCIES PRIOR TO SUBMITTING PRICES OR ORDERING MATERIALS.
 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL BENCHMARKS AND PROPERTY CORNERS. ANY REPLACEMENT WILL BE AT THE CONTRACTOR'S EXPENSE.
 7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO CONSTRUCT THIS PROJECT AND PAY ALL PERMIT FEES. ALL PERMITS MUST BE IN-HAND PRIOR TO CONSTRUCTION.
 8. BOUNDARY AND TOPOGRAPHIC INFORMATION PERFORMED BY PEC SURVEYING AND MAPPING, LLC.
- LAYOUT NOTES:**
10. ALL ACCESSIBLE RAMPS, SIGNS, SYMBOLS, AND PAINTED ISLANDS AND ACCESS ROUTES MUST CONFORM TO THE LATEST ADA REQUIREMENTS.
 11. THE MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.0% GRADE IN ANY DIRECTION. SLOPE IN THE DIRECTION OF TRAVEL IN ALL ACCESSIBLE ACCESS ROUTES SHALL NOT EXCEED 5.0% GRADE AND 2.0% CROSS SLOPE.
 12. ALL DIMENSIONS AND COORDINATES SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. REFER TO ARCHITECTURAL PLANS FOR SPECIFIC BUILDING INFORMATION.
 13. ALL STRIPING TO BE PER THE LATEST EDITION OF THE MUTCD UNLESS NOTED OTHERWISE.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING A SITE CONSTRUCTION TRAFFIC CONTROL PLAN AND OBTAINING ANY REQUIRED APPROVALS FROM THE LOCAL JURISDICTIONAL AUTHORITY. THE SITE CONSTRUCTION TRAFFIC CONTROL PLAN SHALL TAKE INTO ACCOUNT THE ENTERING AND EXITING OF CONSTRUCTION TRAFFIC ONTO THE ROADWAY AND THE IMPACT TO THE FLOW OF TRAFFIC. THIS PLAN SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MUTCD. THIS SITE CONSTRUCTION TRAFFIC CONTROL PLAN SHALL BE IN ADDITION TO ANY TRAFFIC CONTROL PLAN PROVIDED IN THE PLAN SET FOR ROADWAY IMPROVEMENTS.
 15. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ELEVATIONS OF ALL AT-GRADE STRUCTURES AND UTILITIES TO REMAIN (VALVE BOXES, MANHOLES, INLETS, VAULTS, ETC) TO MATCH PROPOSED FINISHED GRADES.
 16. ALL EXISTING TRAFFIC ARROWS AND PARKING STRIPING TO BE REPAINTED, UNLESS OTHERWISE NOTED.

SITE LAYOUT LEGEND

	STANDARD DUTY ASPHALT
	CONCRETE SIDEWALK
	BLACK CONCRETE PAVING



BEFORE YOU DIG!
CALL SUNSHINE STATE ONE CALL OF FLORIDA
AT LEAST TWO FULL BUSINESS DAYS BEFORE
DIGGING OR DISTURBING EARTH

811
Know what's below.
Call before you dig.

LBYD, Inc.
Civil and Structural Engineers
9500 Koger Boulevard
St. Petersburg, FL 33702
Main (727) 202-6207
C.O.A. 38225
PROJECT NO. 402-19-013
© Copyright 2019
These drawings and design notes are the property of LBYD, Inc. which may not be reproduced without written permission.

DATE: 04/20/19
BY: BJK
CHECKED BY: BJK
DATE: 07/26/19
BY: BJK
CHECKED BY: BJK

PREMIER KINGS HOLDINGS OF GEORGIA, LLC.
5529 CARMICHAEL RD
MONTGOMERY, AL 36117
PHONE: (334) 312-0849

2125 Morris Avenue
Pine Bluff, AR 71601
Phone: (501) 322-1271
Fax: (501) 322-1778
email: info@pkha.com
www.pkha.com

hendon huckestein architects, pc
architecture • planning • interior design

ILIANA MARTINEZ
LICENSE
No. 82470
STATE OF FLORIDA
PROFESSIONAL ENGINEER

MADE 30/20 - DECEMBER 2016 STANDARDS

BURGER KING - RENOVATION
13049 MAIN STREET N
JACKSONVILLE, FL 32218

LBYD ENGINEERS
13049 MAIN ST N
JACKSONVILLE, FL 32218

C5.0

SITE LAYOUT PLAN