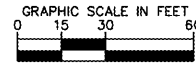
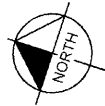


SITE PLAN

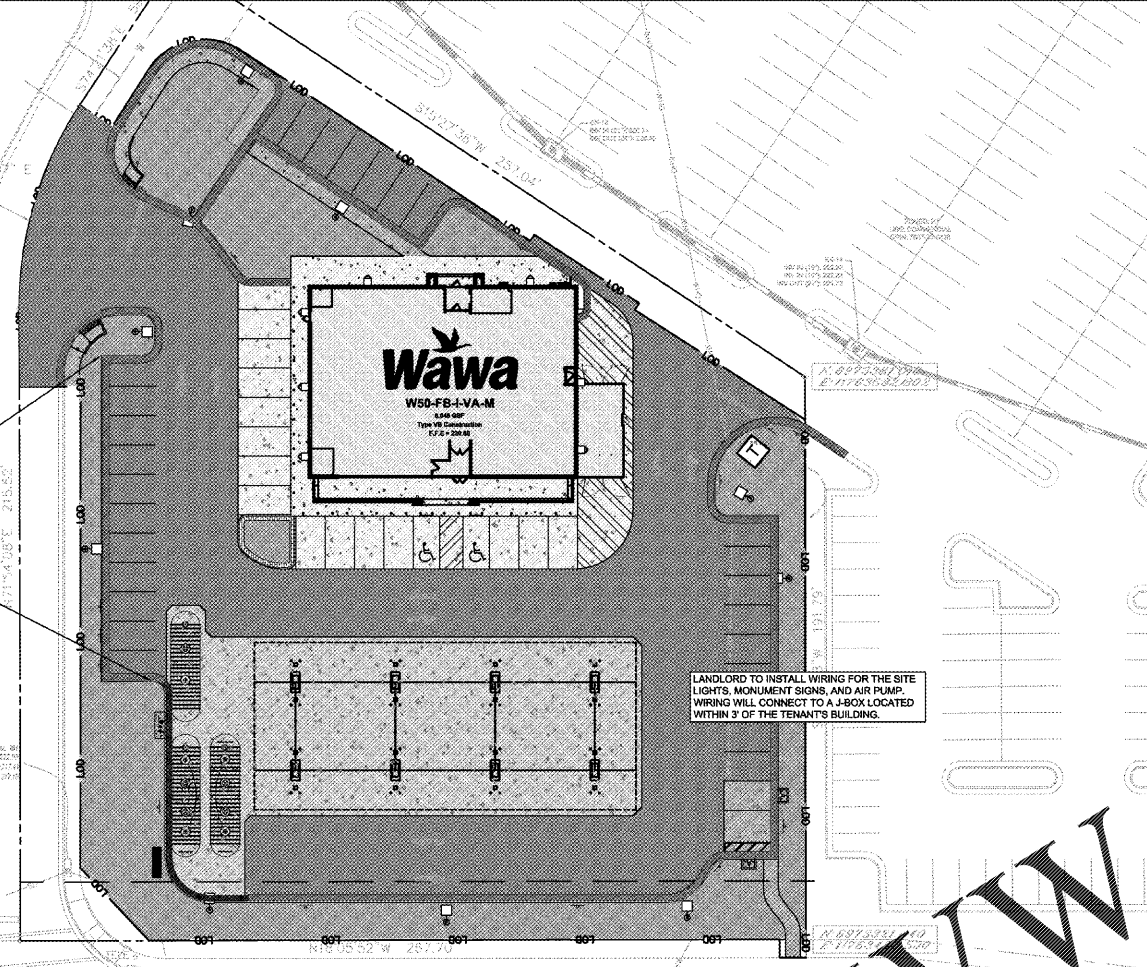
1" = 30'



201801-21
2018-08-10
2018-08-10

EXTENDED CURB TO BE CONSTRUCTED BY LANDLORD. EXTENDED CURB IS RESPONSIBILITY OF LANDLORD AS IT EFFECTIVELY A RETAINING WALL.

DAVIDSON PLACE
(PRIVATE STREET)
467 ENGINEERING - 201801-21
6/11/18

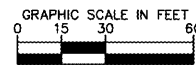
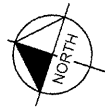


LANDLORD TO INSTALL WIRING FOR THE SITE LIGHTS, MONUMENT SIGNS, AND AIR PUMP. WIRING WILL CONNECT TO A J-BOX LOCATED WITHIN 3' OF THE TENANT'S BUILDING.

LANDLORD TO COORDINATE LIGHT POLE HEIGHTS WITH WAWA.

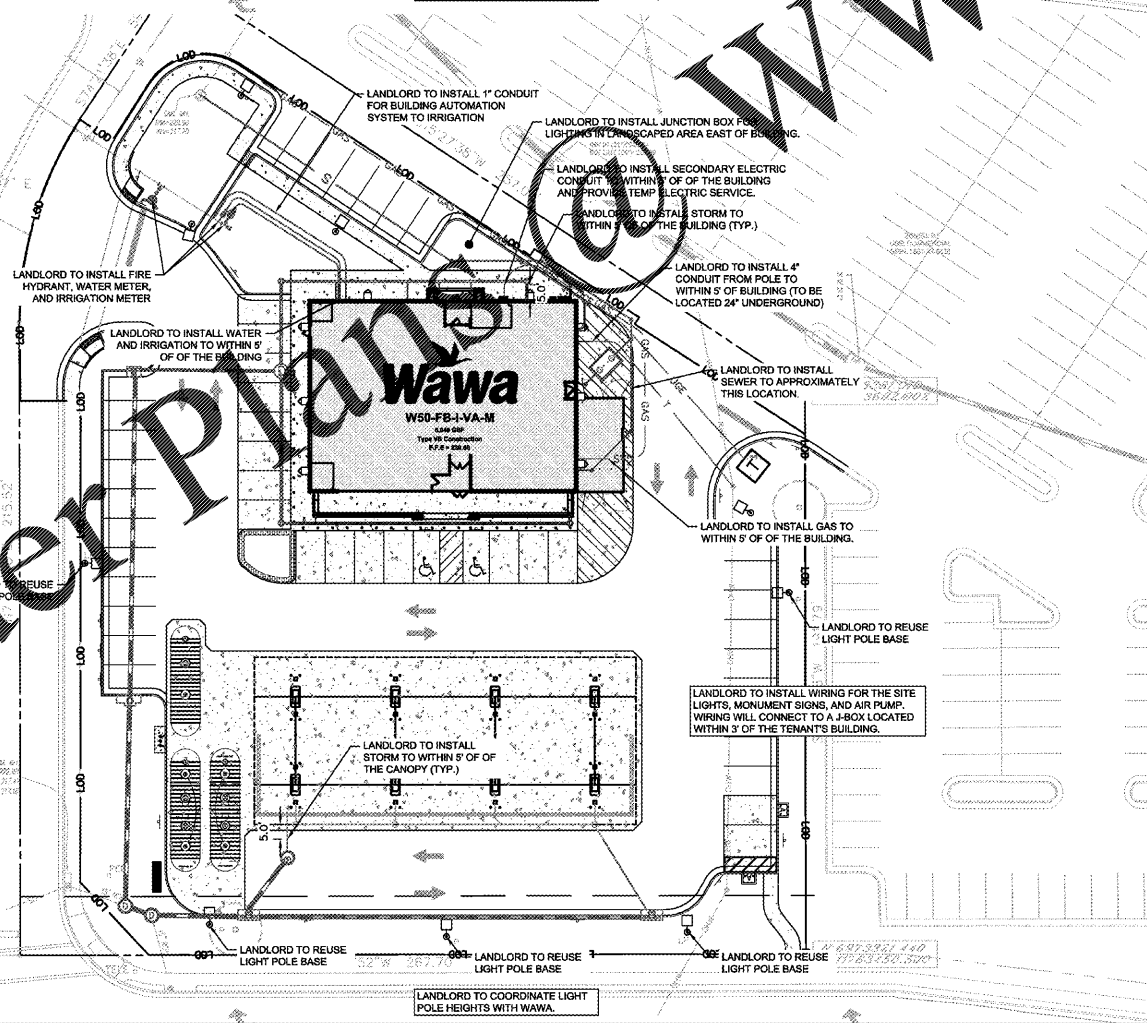
UTILITY PLAN

1" = 30'



201801-21
2018-08-10
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6/11/18



LANDLORD TO INSTALL WATER AND IRRIGATION TO WITHIN 5' OF THE BUILDING

LANDLORD TO INSTALL SEWER TO APPROXIMATELY THIS LOCATION

LANDLORD TO INSTALL GAS TO WITHIN 5' OF THE BUILDING.

LANDLORD TO REUSE LIGHT POLE BASE

LANDLORD TO COORDINATE LIGHT POLE HEIGHTS WITH WAWA.

LEGEND

- TN-PAVING
- TN-CONCRETE
- TN-CURB
- TP-CONCRETE
- TP-CURB
- LL-LANDSCAPING
- LL-CONCRETE
- LL-CURB
- LL-PAVING

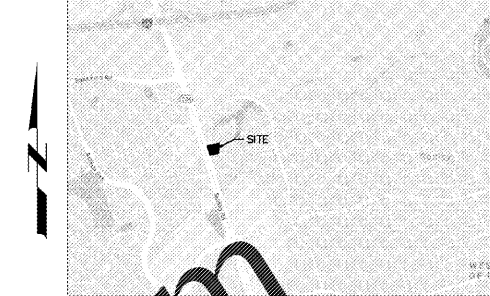
LL-LANDLORD
TP-TENANT WAWA PETROLEUM
TN-TENANT WAWA

LEGEND

- LL UTILITY RESPONSIBILITY
- TN - UTILITY RESPONSIBILITY
- TP - UTILITY RESPONSIBILITY

VICINITY MAP

SCALE 1" = 2000'



LANDLORD CONSTRUCTION RESPONSIBILITIES (PAD COMPLETE)

1. CLEARING AND GRADING, WHICH SHALL INCLUDE, WITHOUT LIMITATION, DEMOLITION OF ANY EXISTING STRUCTURES AND FOUNDATIONS, REMOVAL OF ANY UNDERGROUND STRUCTURES, INCLUDING, WITHOUT LIMITATION, UNDERGROUND STORAGE TANKS IN ACCORDANCE WITH APPLICABLE LAWS, AND THE DISCONNECTION AND REMOVAL AND CAPPING OF ANY EXISTING OR ABANDONED UTILITIES OF THE LEASED PREMISES TO WITHIN ONE INCH (1") OF THE PROPOSED SUB-GRADE IN ACCORDANCE WITH THE FOLLOWING CRITERIA: 98% UNDER ALL BUILDING AREAS AND CANOPY AREAS AND 95% UNDER ALL OTHER AREAS, SUCH PERCENTAGES BASED UPON MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT (STANDARD PROCTER), TO THE EXTENT NECESSARY. LANDLORD SHALL REMOVE ALL UNSUITABLE MATERIAL DISCOVERED BY THE LANDLORD OR TENANT DURING CONSTRUCTION ACTIVITIES ON THE LEASED PREMISES AND REPLACE SUCH UNSUITABLE MATERIAL WITH CONTROLLED COMPACTED FILL SATISFACTORY TO TENANT, PROVIDED, THAT WITHOUT LIMITING THE FOREGOING, UNSUITABLE MATERIAL SHALL INCLUDE WITHOUT LIMITATION, MATERIAL WHICH IS NOT CONSIDERED IN THE INDUSTRY TO BE "CLEAN FILL" MATERIAL. LANDLORD SHALL DELIVER TO TENANT COMPACTION RESULTS CONFIRMING THAT THE ABOVE REFERENCED COMPACTION REQUIREMENTS HAVE BEEN SATISFIED. THE COMPACTION TESTING RESULTS SHALL BE CERTIFIED AS TRUE AND CORRECT BY A LICENSED THIRD PARTY INSPECTOR APPROVED IN ADVANCE BY LANDLORD OR TENANT. IN THE EVENT THAT THE LANDLORD OR TENANT ENCOUNTERS ANT ROCK, LANDLORD, AT THE LANDLORDS EXPENSE, MUST EXCAVATE SUCH ROCK AND PAY FOR ANY BLASTING AND ROCK REMOVAL.
2. INSTALLATION OF THE AIR PUMP MACHINE TO BE SUPPLIED BY TENANT ALONG WITH THE CONCRETE PAD WITH BOLLARDS (IN THE COLOR SHOWN ON THE FINAL LAND DEVELOPMENT PLANS) ON WHICH SUCH MACHINE SITS AND ELECTRIC SERVICE AND WIRING TO SUCH MACHINE, ALL AT THE LOCATIONS SHOWN ON THE FINAL LAND DEVELOPMENT PLANS.
3. INSTALLATION OF THE GREASE TRAP (PROCURED BY LANDLORD IN ACCORDANCE WITH TENANT'S SPECIFICATIONS) IN THE LOCATION SHOWN ON THE FINAL LAND DEVELOPMENT PLANS.
4. PAVING, STRIPING AND INFRASTRUCTURE TO THE LEASED PREMISES UP TO THE AREAS IMMEDIATELY SURROUNDING THE TENANT'S BUILDING. THE CONCRETE WORK AROUND THE TENANT'S BUILDING AND CANOPY IN THE GASOLINE DISPENSING AREA ARE PART OF TENANT'S IMPROVEMENTS AND NOT PART OF LANDLORD'S WORK.
5. THE SITE LIGHTING FOR THE LANDLORD'S OVERALL PROPERTY SHALL BE INSTALLED AS DESIGNED BY TENANT'S LIGHTING CONSULTANT. LANDLORD SHALL INSTALL THE SITE LIGHT BASES AND LIGHTS. LANDLORD WILL REUSE SITE BASES AS NOTED ON PLAN. TENANT SHALL INSTALL THE LIGHTS ATTACHED TO TENANT'S BUILDING OR CANOPIES. ALL THE LIGHTS ON THE LEASED PREMISE SHALL BE WIRED BY THE LANDLORD TO A JUNCTION BOX LOCATED WITHIN THREE (3) FEET OF TENANT'S BUILDING ON THE LEASED PREMISES PURSUANT TO TENANT'S SPECIFICATIONS. ALL PARKING LOT LIGHTS SHALL BE ON PHOTOCELLS. TENANT SHALL BE RESPONSIBLE FOR BUILDING THE FOUNDATION FOR THE SIGNS AND THE INSTALLATION OF THE SIGNS.
6. DEMOLITION OF EXISTING STRUCTURES & FOUNDATIONS
7. INSTALLATION OF ALL UTILITY LINES AND FACILITIES, INCLUDING BUT NOT LIMITED TO, PUBLIC SEWER, PUBLIC WATER (INCLUDING HYDRANTS), ELECTRICITY, NATURAL GAS AND TELEPHONE SERVICE TO A POINT NOT MORE THAN 5 FEET FROM THE TENANT'S BUILDING AT THE LOCATIONS SHOWN ON THE FINAL DEVELOPMENT PLANS. INSTALL ON THE TRANSFORMER PAD FOR ELECTRICAL LINES AND CONDUITS IN THE LOCATION APPROVED BY APPLICABLE AUTHORITIES, THE PRIMARY ELECTRIC LINE FROM THE POLE TO SUCH TRANSFORMER MUST BE LIVE.
8. ALL UTILITY LINES AND FACILITIES MUST BE CONNECTED AND FUNCTIONING. TENANT SHALL PAY UTILITY TAPPING FEES. LANDLORD SHALL PAY OTHER FEES INCLUDING UTILITY CONNECTION FEES, AND ALL OTHER FEES AND EXPENSES TO RESERVE OR OBTAIN UTILITY SERVICE FOR THE LEASED PREMISES (INCLUDING, WITHOUT LIMITATION, EDUS AND DFUS).
9. RELOCATION OF REMOVAL OF PUBLIC AND PRIVATE UTILITY LINES, POLES OR FACILITIES WITHIN OR OUTSIDE OF THE LEASED PREMISES, INCLUDING WITHOUT LIMITATION, POWER PHONE AND FIBER OPTIC CABLE, AS NECESSARY TO COMPLETE CONSTRUCTION IN ACCORDANCE WITH THE FINAL LAND DEVELOPMENT PLANS.
10. CONSTRUCTION ALL THE STORMWATER MANAGEMENT INLETS, PIPES AND OTHER FACILITIES ON THE LEASED PREMISES, AND INCLUDING BUT NOT LIMITED TO ROOF DRAINS FOR TENANT'S BUILDING AND CANOPY TO WITHIN 5 FEET FROM THE TENANT'S BUILDING AND CANOPY AT THE LOCATION SHOWN ON THE FINAL LAND DEVELOPMENT PLANS.
11. CONSTRUCTION OF THE INTERNAL ROADWAYS AND DRIVE AISLES IN THE LANDLORD'S OVERALL PROPERTY, INCLUDING BUT NOT LIMITED TO, ALL SIDEWALKS, CURBS AND ROOF DRAIN CONNECTIONS, STRIPING, PAVING AND ASSOCIATED SITE LIGHTING AND ALL TRAFFIC CONTROL SIGNAGE AND STRIPING. ENTRANCES TO THE LEASED PREMISES SHOULD BE CONSTRUCTED TO THE TERMINATION POINT OF THE ENTRANCE RADIUS ON THE INTERIOR OF THE LEASED PREMISES.
12. SIDEWALKS WITHIN THE LEASED PREMISES (BUT EXCLUDING ANY SIDEWALKS IMMEDIATELY SURROUNDING THE TENANT'S BUILDING, WHICH IS THE RESPONSIBILITY OF TENANT TO CONSTRUCT), CURBING (BUT EXCLUDING ANY CURBING IMMEDIATELY SURROUNDING THE TENANT'S BUILDING, WHICH IS THE RESPONSIBILITY OF TENANT TO CONSTRUCT).
13. INSTALL ALL NECESSARY EROSION CONTROL FEATURES.
14. INSTALL DRIVEWAY ENTRANCES AND INTERNAL ROADWAYS/Common Entrances to TERMINATION POINT OF ENTRANCE RADIUS ON INTERIOR OF WAWA LEASE PREMISE INCLUDING ALL SIDEWALK, CURBS, STRIPING, PAVING, GUTTERS, AND ASSOCIATED LIGHTING AND TRAFFIC CONTROL SIGNAGE/STRIPING WITHIN EACH ROADWAY.
15. LANDLORD IS RESPONSIBLE FOR INSTALLING TEMPORARY ELECTRIC AND FOR ALL PAYMENTS OF THE TEMPORARY ELECTRIC BILLS. LANDLORD IS RESPONSIBLE FOR OBTAINING PERMANENT POWER, ONCE PERMANENT POWER IS OBTAINED BY LANDLORD, TENANT SHALL REIMBURSE LANDLORD FOR ELECTRICITY BILLS FROM THE DATE THAT PERMANENT POWER IS SO OBTAINED. "PERMANENT POWER" FOR PURPOSES HEROF IS THE TIME AT WHICH THE TRANSFORMER IS SET AND IS USABLE BY CONTRACTORS.
16. LANDLORD SHALL RUN ALL CONDUITS AND WIRING FOR ALL EQUIPMENT LOCATED ON THE LEASED PREMISES. LANDLORD'S OBLIGATION SHALL INCLUDE PULLING ALL SECONDARY ELECTRICAL WIRES FROM THE TRANSFORMER TO WITHIN FIVE FEET OF TENANT BUILDING. LANDLORD'S OBLIGATION HEREUNDER SHALL EXCLUDE ONLY THE WIRING FEEDING THAT EQUIPMENT LOCATED INSIDE THE TENANT'S BUILDING AND THE EQUIPMENT NECESSARY TO OPERATE TENANT'S FUELING FACILITIES. THE WIRING LAYOUT PLAN FOR SIGNAGE AND SITE LIGHTING ON THE LEASED PREMISES MUST BE APPROVED IN ADVANCE BY TENANT. ALL WIRING MUST BE CONNECTED AND FUNCTIONING.

Kimley»Horn
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KHA PROJECT	110493001
DATE	07/25/2019
SCALE	AS SHOWN
DESIGNED BY	
DRAWN BY	
CHECKED BY	

DIVISION OF WORK EXHIBIT

WAWA - SUDLEY ROAD
PREPARED FOR
FRONTIER DEVELOPMENT
PRINCE WILLIAM COUNTY, VA

SHEET NUMBER

NO.	REVISIONS	DATE	BY