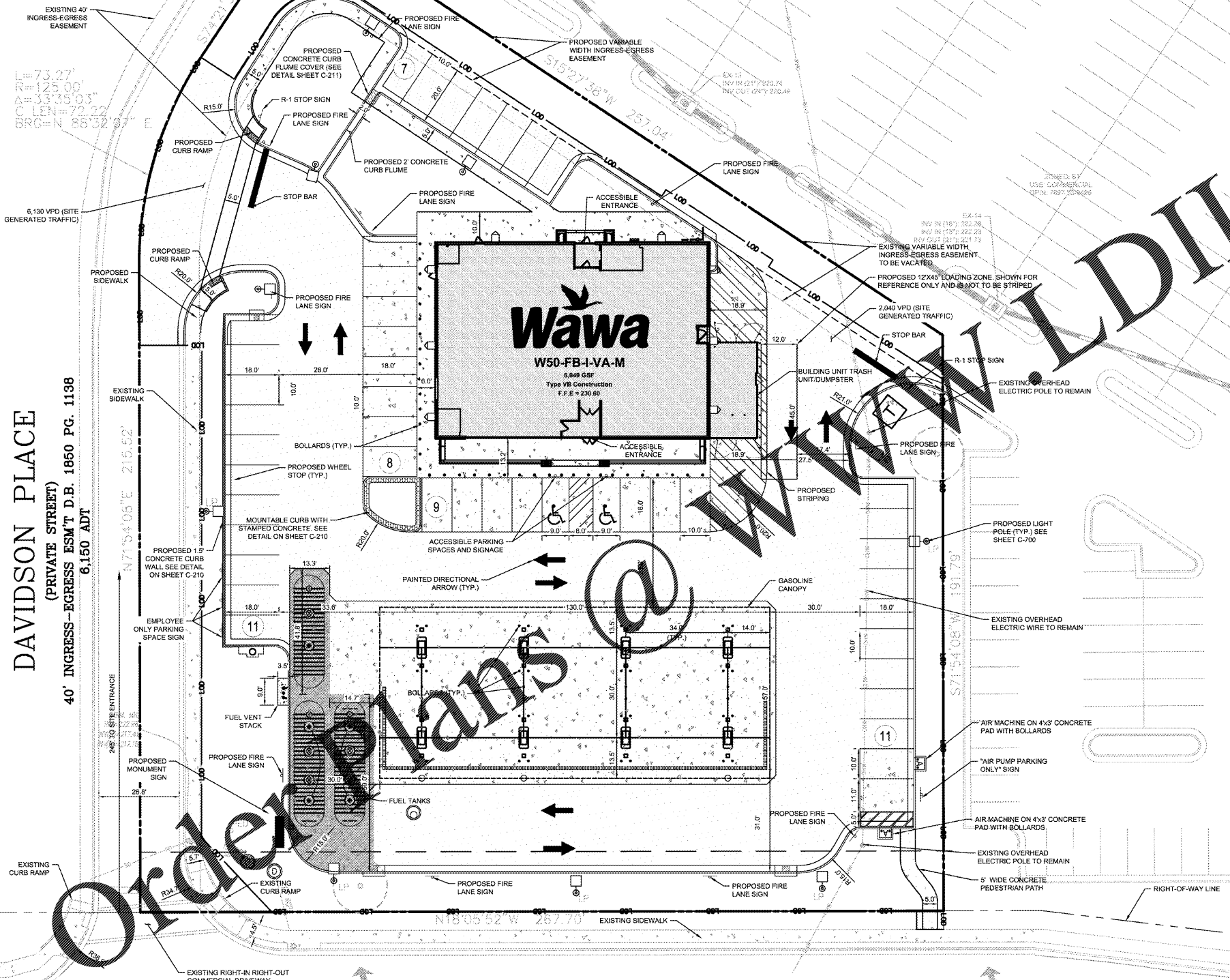


DAVIDSON PLACE
(PRIVATE STREET)
40' INGRESS-EGRESS ESM'T D.B. 1850 PG. 1138
6.150 ADT



LEGEND

	PROPERTY LINE/LEGAL ROW
	PROPERTY SETBACK
	LIMITS OF DISTURBANCE (1.46 AC)
	PROPOSED CURB AND GUTTER CG-6
	PROPOSED STANDARD DUTY CONCRETE
	PROPOSED HEAVY DUTY CONCRETE
	PROPOSED ASPHALT
	PROPOSED GRAVEL

- GENERAL NOTES**
- THE PROPERTY SETBACKS ARE AS SHOWN IN THIS PLAN.
 - BOUNDARY INFORMATION IS BASED UPON A SURVEY BY MERESTONE LAND SURVEYING PLLC, DATED JULY 11, 2017.
 - THE TOPOGRAPHIC INFORMATION IS BASED ON NAVD83. THE CONTOUR INTERVAL IS ONE FOOT.
 - THE ZONING IS B-1 (COMMERCIAL).
 - THE PROJECT DOES NOT LIE WITHIN AN EXISTING DAM FLOOD INUNDATION ZONE AS DEFINED BY THE PRINCE WILLIAM COUNTY DEPARTMENT OF PUBLIC WORKS DAM BREACH INUNDATION ZONE MAPS PROVIDED ON THE COUNTY'S WEBSITE.
 - THE PROJECT DOES NOT LIE WITHIN A RESOURCE PROTECTION AREA.
 - THE PROJECT DOES NOT LIE WITHIN A RESOURCE MANAGEMENT AREA.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH ALL PRINCE WILLIAM COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - THE BUILDER IS RESPONSIBLE FOR MAINTAINING THE EXISTING EROSION/SILTATION CONTROLS AND ANY ADDITIONAL CONTROLS DESIGNED ON THIS PLAN AND ANY ADDITIONAL CONTROLS AS REQUESTED AND DIRECTED BY THE SITE INSPECTOR.
 - THE CONTRACTOR SHALL DIG TEST PITS AS REQUIRED FOLLOWING NOTIFICATION AND MARKING OF ALL EXISTING UTILITIES BY MISS UTILITY TO VERIFY THE LOCATION AND DEPTH OF EXISTING UTILITIES. TEST HOLES TO BE PERFORMED AT LEAST 30 DAYS PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY TO THE OWNER AND ENGINEER. REDESIGN AND APPROVAL BY REVIEWING AGENCIES SHALL BE OBTAINED IF REQUIRED.
 - THIS PROPERTY SHALL BE SERVED BY PUBLIC WATER AND PUBLIC SEWER (PRINCE WILLIAM COUNTY SERVICE AUTHORITY).
 - A GEOTECHNICAL REPORT SHALL BE SUBMITTED AND APPROVED IN CONJUNCTION WITH THE FINAL PLAN. THE CONTRACTOR SHALL REFER TO FINAL GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION REQUIREMENTS.
 - ALL CURB RADI ARE 5' UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL ADJUST ALL EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINAL GRADE.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS (UNLESS OTHERWISE NOTED ON PLANS), INCLUDED BUT NOT LIMITED TO TREES, UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS, & POLES, ETC. AS REQUIRED. ALL COST SHALL BE INCLUDED IN BASE BID.
 - SEE SHEET C-210 FOR SITE DETAILS.
 - PROPOSED PAVEMENT TO MATCH WAWA STANDARD PAVEMENT SECTIONS SEE SHEET C-211 FOR SECTIONS. DESIGN TO BE CONFIRMED BY GEOTECHNICAL ENGINEER.

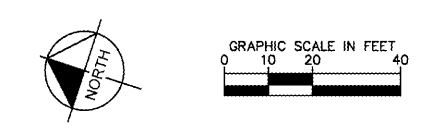
SITE DATA

JURISDICTION	PRINCE WILLIAM COUNTY
EXISTING ZONING	B-1
PROPOSED ZONING	B-1 W S.U.P.
PROPOSED USE	MOTOR VEHICLE FUEL STATION AND QUICK SERVICE FOOD STORE
WAWA SITE AREA	1.65 AC
BUILDING AREA	6,049 S.F.
EXISTING IMPERVIOUS	80.1%
PROPOSED IMPERVIOUS	81.5%
PROPOSED OPEN SPACE	18.5% (0.27 ACRES)
FLOOR AREA RATIO	0.08
MIN. PARKING REQUIRED (5 SPACES = 1 SPACE/150 SF OF NFA) NFA = 75% OF GFA	35 SPACES
PARKING PROVIDED (TOTAL)	46 SPACES
LOADING SPACES REQUIRED	1 SPACE
LOADING SPACES PROVIDED	1 SPACE, 12'x 45'
FRONT SETBACK	20'
SIDE SETBACK	NONE
REAR SETBACK	NONE
FRONT BUFFER YARD	10'
SIDE BUFFER YARD (ALONG DAVIDSON PLACE)	0'
SIDE BUFFER YARD (ABUTTING LOWES PARKING LOT)	0'
BUILDING HEIGHT	UP TO 45'
# MPD'S	8 (16 PUMPS)

WAWA SITE DATA

WAWA STORE	8658
WAWA CONTACT	JEB BELL
BUILDING TYPE	W50-FB-I-VA-M
CANOPY TYPE	SLOPED
CANOPY CONFIGURATION	STACKED
# OF MPD'S	8
TYPE MPD'S	8 (3+1)
# OF PARKING SPACES	46
# HCP	2
# OF TRUCK/OVERSIZED PARKING	0
SQ. FT. OF ASPHALT/CONCRETE TO BE MAINTAINED BY WAWA	42,585 SF
SQ. FT. OF LAWN AREA TO BE MAINTAINED BY WAWA	7,325 SF
SQ. FT. OF MULCH AREA TO BE MAINTAINED BY WAWA	5,450 SF
VEHICULAR USE AREA	20,250 SF

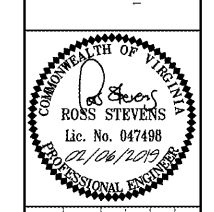
(R/W VARIES)
POSTED SPEED: 45 MPH, DESIGN SPEED: 45 MPH
URBAN MINOR ARTERIAL
22,000 ADT



REVISIONS

NO.	DATE	REVISIONS
1	09/10/2018	CAH
2	11/02/2018	CAH
3	02/06/2019	CAH
4	07/25/2019	CAH

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WWW.KIMLEY-HORN.COM



SITE PLAN

KHA PROJECT	110499001
DATE	02/06/2019
SCALE	AS SHOWN
DESIGNED BY	JLM
DRAWN BY	JLM
CHECKED BY	RSS

WAWA - SUDLEY ROAD
PREPARED FOR FRONTIER DEVELOPMENT
PRINCE WILLIAM COUNTY, VA