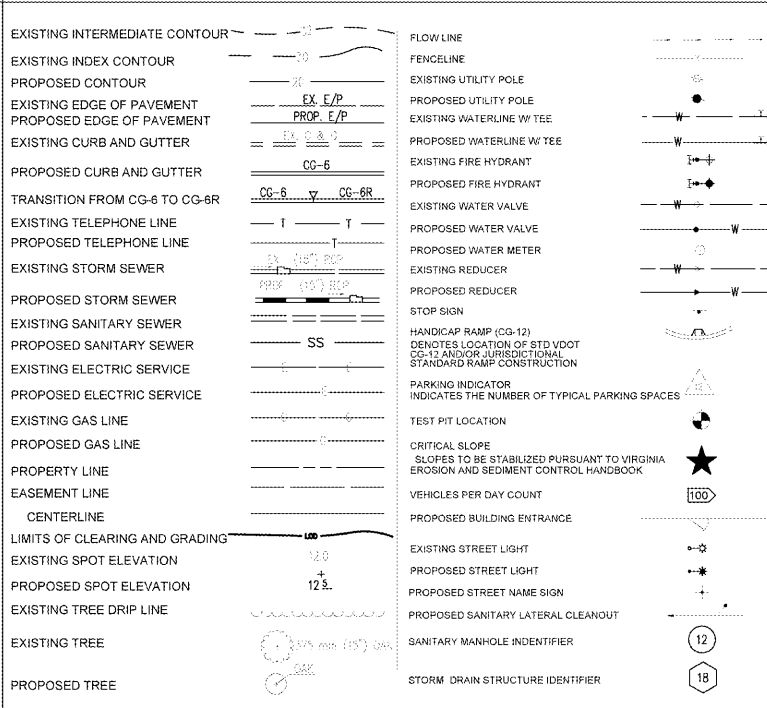


GENERAL NOTES

- 1. This site has been addressed by the Prince William County Mapping Office as: 10691 DAVIDSON PLACE, MANASSAS, VA 20109 (addresses for subdivision lots shall appear on the approved plat for recordation).
2. Addresses assigned are for the layout of individual businesses or dwelling units and are for exterior doors as shown on this plan only. Any deviation in design or layout will require that a revised plan be submitted to the Office of Mapping for re-addressing. It is the responsibility of the developer to inform the County Office of Mapping before a change in layout occurs and to submit complete and accurate information for re-addressing. Prince William County does not assume any responsibility where re-addressing is required even though tenants have already occupied a portion of the building.
3. Methods and materials used in the construction of the improvements herein shall conform to the current County construction standards and specifications and/or current VDOT standards and specifications.
4. The contractor or developer is required to notify the Prince William County Department of Public Works in writing three (3) days prior to the beginning of the construction and specifically request inspection before beginning - 792-7070.
A. Installation of approved erosion control devices.
B. Clearing and Grading.
C. Subgrade excavation.
D. Installing storm sewers or culverts.
E. Setting curb and gutter forms.
F. Placing curb and gutter.
G. Placing other concrete.
H. Placing gravel base.
I. Placing any bituminous surfacing.
J. Installing water mains outside the Service Authority's boundaries.
K. Installing sanitary sewer outside the Service Authority's boundaries.
5. Measures to control erosion and siltation, including detention ponds serving as silt basins during construction, must be provided prior to issuance of the site development permit. The approval of these plans in no way relieves the developer or his agent of the responsibilities contained in the Virginia Erosion and Sediment Control Handbook.
6. A permit must be obtained from the Office of the Resident Engineer, Virginia Department of Transportation (VDOT) Prince William County, prior to construction in existing State right-of-way, 396-1900.
7. Approval of this plan does not guarantee issuance of an entrance permit by VDOT when such permit is required under State law.
8. The exact location of all guard rails will be determined by VDOT personnel. "A joint inspection will be held with the Developer, County Representatives, and Representatives of the Virginia Department of Transportation (VDOT) to determine if and where guard rail and/or paved ditches will be needed." The developer will be responsible for providing guardrail and paved ditches as determined by this joint inspection." Refer to Virginia Department of Transportation (VDOT) Guard Rail and Paved Ditch Specifications.
9. An approved set of plans and all applicable permits must be available at the construction site. Also, a representative of the developer must be available at all times.
10. Warning signs, markers, barricades or flagmen should be in accordance with the Manual on Uniform Traffic Control Devices (MUTCD).
11. All unsuitable material shall be removed from the construction limits of the roadway before placing embankment.
12. All pavement sections on the approved plans are based on a minimum CBR value of 10. CBR tests are to be performed by the engineer and submitted to the Prince William County Planning Office for review prior to placement of base material. CBR values less than 10 will require submittal of revised pavement section.
13. All roadside ditches at grades of more than 5% shall be paved with cement concrete to the limits indicated on the plans and as required at the field inspection.
14. All springs shall be capped and piped to the nearest storm sewer manholes or curb inlet. The pipe shall be minimum 150 mm (6") diameter and conform to VDOT standard SB-1.
15. All standard street name signs, traffic control devices, and street lights shall be installed by the developer when the first building unit is occupied.
16. Construction debris shall be containerized in accordance with the Virginia Litter Control Act; no less than one litter receptacle shall be provided at the construction site.
17. The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets, and it is the contractor's responsibility to clean streets, alley dust, and to take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
18. \* Notification shall be given to the appropriate utility Company (Service Authority, Virginia-American Water Company, or Dale Service Corporation) prior to construction of water and/or sanitary sewer lines. Information should also be obtained from the appropriate authority concerning permits, cut sheets, and connections to existing lines.
19. All sanitary sewers and water mains and appurtenances shall be constructed in accordance with the current standards and specifications of Prince William County and/or the Service Authority.
20. The developer and/or contractor shall be responsible to supply all utility companies with copies of plans that have been approved by Prince William County and advising them that all grading shall conform to the approved plans, and further that the utility companies shall be responsible for honoring these plans and the finished grades in the installation of their utility lines.
21. Contractors shall notify operators who maintain underground utility lines in the area of proposed excavating or blasting at least two (2) working days, but not more than ten (10) working days, prior to commencement of excavation or demolition. Names and telephone numbers of the operators underground utility lines in Prince William County appear below. These numbers shall also be used to serve in an emergency condition.
\* Washington Gas Light Co.
Virginia Power Co.
Northern Virginia Electric Co-op
Columbia Gas of Virginia
Continental Telephone of VA
Colonial Pipeline Co.
Transcontinental Gas Pipe Line Corp.
Service Authority 335-7900 (After hours-Emergency 335-7990)
Virginia-American Water 491-2136
Date Service Corporation 494-4161
MISS UTILITY 1-800-257-7777
22. The location of existing utilities shown in these plans are taken from existing records. It shall be the contractor's responsibility to verify the exact horizontal and vertical location of all existing utilities as needed prior to construction. The contractor shall inform the engineer of any conflicts arising from his existing utility verification and the proposed construction.
23. The developer will be responsible for any damage to the existing streets and utilities which occurs as a result of his construction project within or contiguous to the existing right-of-way.
24. All utilities placed under existing streets shall be bored or jacked.
25. When grading is proposed within easements of utilities, letters of permission from all involved companies must be provided to Prince William County Planning Office prior to issuance of grading and/or site development permits.
26. The developer will be responsible for the relocation of any utilities which is required as a result of his project. The relocation shall be done prior to construction.
27. Before burning, blasting, transportation or storage of explosives in Prince William County, a permit shall be obtained from the Fire Marshal's Office, 792-6360.
28. Fire and Rescue Services must be notified immediately (792-6810) in the event that unusual items such as tanks, cylinders, unidentified containers, etc. which could contain potentially hazardous materials are discovered or observed. All activities must cease and not be resumed until authorization to proceed is given by the Fire Marshal's Office.
29. Sidewalk underdrains shall be installed per Section 650 of the Design and Construction Standards Manual.
30. All walkways outside of the right-of-way limits will be maintained by the homeowners' association.
31. Maintenance of the Storm Drainage or Storm Water Management facilities shall be in accordance with Section 700 of the Prince William County Design and Construction Standards Manual.
32. If units shown on this plan will be occupied in phases, a phasing plan must be approved by the engineering inspection branch prior to the issuance of any occupancy permits. (Detached single-family subdivisions exempt).
33. These plans identify the location of all known graves. Gravesites shown on this plan will be protected in accordance with state law. In the event gravesites are discovered during construction, the County's Planning Office must be notified immediately (792-6830). All activities must cease and not be resumed until authorization to proceed is given by the County Planning Office.
34. Roof top mechanical equipment, if any, must be enclosed within a wall or similar screening barrier, designed in harmony with the building.
35. Individual sign permits will be required from the Zoning Office for all free standing and facade signs prior to erecting the signs.
36. All buffer areas shall be screened according to the Design and Construction Standards Manual.
37. For proffers statement and proffers analysis, see N/A.
38. For waivers see sheet(s) N/A.
39. Anticipated sewage flows: 5.55 GPM = 2,000 GAL/DAY X 4 (PEAK FLOW FACTOR) X 1 DAY/24 HR X 1 HR/60 MIN.
40. Anticipated fire flows: FLOW RATE AT 20 PSI = 4,056 GPM.
41. Distance to nearest existing school or proposed school site: 0.9 MILES TO SINCLAIR ELEMENTARY SCHOOL.

LEGEND



AS BUILT INFORMATION

SUPPLEMENTAL GENERAL NOTES

- THIS PLAN REFERENCES PRINCE WILLIAM COUNTY 2017.
THIS PLAN COMPLIES WITH THE PRINCE WILLIAM COUNTY SERVICE AUTHORITY UTILITY STANDARDS MANUAL (USM), WHICH WENT INTO EFFECT JULY 1, 2012. ALL UTILITY PERMITS ISSUED AFTER THIS DATE MUST COMPLY WITH THE CONSTRUCTION CRITERIA IN THE UPDATED MANUAL, INCLUDING ANY REVISIONS THAT MAY HAVE BEEN ISSUED.
AS PER SECTION 250.7-417 OF THE ZONING ORDINANCE, EXCEPT FOR TRANSMISSION POWER LINES OF 34,500 KILOWATTS OR GREATER, ALL SITE UTILITY FACILITIES SERVING NEW USES INCLUDING WATER, SEWER, POWER, NATURAL GAS, TELEPHONE AND CABLE, SHALL BE INSTALLED UNDERGROUND.
APPLICANT SHALL PROVIDE PROOF OF PURCHASE OF THE OFFSITE NUTRIENT CREDITS (FROM THE NONPOINT SOURCE CREDIT BANK APPROVED BY THE DEQ) IN THE FORM OF PURCHASE AND SALE AGREEMENT PRIOR TO APPLYING FOR THE LAND DISTURBANCE PERMIT OR THE CONSTRUCTION GENERAL PERMIT, WHICHEVER COMES FIRST.

REVISIONS

Table with columns: DATE, DESIGNER, NO., DESCRIPTION. Contains revision history for PWC COMMENTS - 1ST ROUND, 2ND ROUND, and SIGNATURE SET.

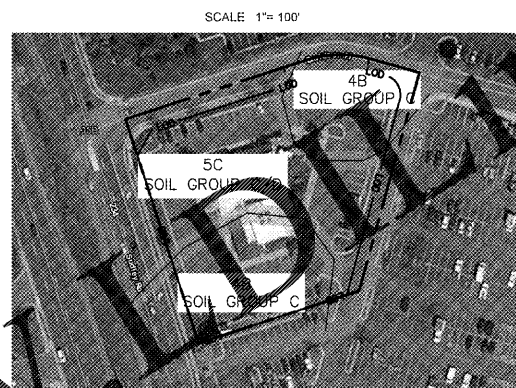
BOND ESTIMATE

Table with columns: ITEM, COUNTY BOND, VDOT BOND. Lists construction costs, administrative costs, and performance bond amounts.

SURVEY AND TOPOGRAPHIC INFORMATION

- Horizontal and vertical control surveys were performed by MERESTONE LAND SURVEYING PLLC on MAY 2, 2017.
All elevations must be referenced to the National Geodetic Vertical Datum of 1983 (NAVD 83).
Source of topographic mapping is MERESTONE LAND SURVEYING PLLC dated JULY 11, 2017.
Boundary survey was performed by MERESTONE LAND SURVEYING PLLC dated JULY 11, 2017.
The application of the professional's seal and signature as required by Section 1.14 of the STATE BOARD OF ARCHITECTS, PROFESSIONAL ENGINEERS, LAND SURVEYORS AND CERTIFIED LANDSCAPE ARCHITECTS RULES AND REGULATIONS shall be evidence that the boundary data is correct to the best of the land surveyor's knowledge, and complies with the minimum standards and procedures of the said Board; the topographic information is accurate to within one-half of the contour interval, as shown. Application of the seal and signature indicates acceptance of responsibility for the work shown hereon.

SOILS MAP

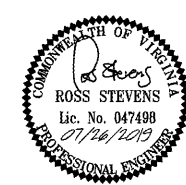


SOILS DATA

Table with columns: SOIL ID, SOIL NAME, ERODIBILITY, SHRINK-SWELL POTENTIAL, SLOPE RANGE, CAT., K FACTOR. Lists soil data for 4B and 5C.

DESIGNATED PLANS EXAMINER CERTIFICATE

Form for Designated Plans Examiner Certificate, including fields for 1st and 2nd submission reviewed and recommended for submission, with designated plans examiner, reg. number, and date.

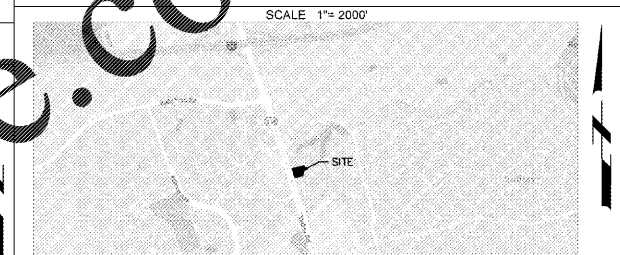


PROFESSIONAL SEAL & SIGNATURE
THESE PLANS ARE IN CONFORMANCE WITH PRINCE WILLIAM COUNTY STANDARDS AND ORDINANCES. ANY DEVIATION OR CHANGE IN THESE PLANS SHALL BE APPROVED BY THE DIRECTOR OF PLANNING PRIOR TO CONSTRUCTION.

REVIEWED BY: APPROVED BY:

This plan has been reviewed and has been found to be in general conformance with the requirements of Prince William County. The developer is hereby authorized to obtain all necessary land development permits, subject to all designs, procedures, materials and workmanship being in compliance with lawful requirements. If not bonded or permitted (if applicable) within five (5) years of the authorized date or lawfully extended, this authorization will expire. A valid agreement and bond with Prince William County must be maintained to assure plan and permit validity.

VICINITY MAP



SHEET INDEX

Table with columns: PWC Sheet Number, Sheet Number, Sheet Title. Lists all sheets from 1 to 40, including cover sheet, surveys, permits, erosion control, and site plan details.

PRINCE WILLIAM COUNTY

COVER SHEET

Cover sheet form containing project information: Project Name (WAWA - SUDLEY ROAD), Project Number (KHA # 110499001), Magisterial District (GAINESVILLE), Present Zoning & Use (ZONED B-1, COMMERCIAL RETAIL), Owner (SUDLEY MANASSAS LLC), Address (14144 WALTON DRIVE, MANASSAS, VA 20112), and other details.

Subdivision Plan/Plan Name: WAWA - SUDLEY ROAD
PWC File Number: SPR2018-00429S04