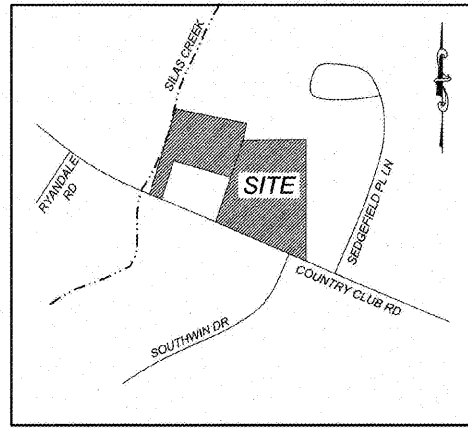


RETAIL / RESTAURANT DEVELOPMENT

GEMCAP DEVELOPMENT
210 WEST FOURTH STREET, SUITE 200
WINSTON-SALEM, NORTH CAROLINA 27101
PHONE: (336) 724-0153

SITE ADDRESS:
4809 COUNTRY CLUB ROAD
WINSTON-SALEM, NORTH CAROLINA

CSD PROJECT NUMBER: GEM-1808



VICINITY MAP
NTS

SITE INFORMATION / LEGEND	
SITE ADDRESS:	4809 COUNTRY CLUB ROAD
PARCEL IDENTIFICATION NUMBER:	6805-41-0484 00
CORPORATE LIMITS:	CITY OF WINSTON-SALEM
OWNER:	CAPITAL BANK NATIONAL ASSOCIATION 4605 COUNTRY CLUB ROAD WINSTON-SALEM, NC 27104
DEVELOPER:	GEMCAP DEVELOPMENT 210 WEST FOURTH STREET, SUITE 200 WINSTON-SALEM, NC 27101 PHONE: 336-724-0153 E-MAIL: paul@gemcapdevelopment.com
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121; FAX: (919) 848-3741 E-MAIL: clayton@csidedesign.com
EXISTING ZONING:	HB-S
PROPOSED ZONING:	HB-L
EXISTING USE:	VACANT
BUILDING SETBACKS	
FRONT	NONE
SIDE	40 FEET (ABUTTING RESIDENTIALLY ZONED PROPERTY)
REAR	40 FEET (ABUTTING RESIDENTIALLY ZONED PROPERTY)
PARKING REQUIREMENTS:	RESTAURANT WITHOUT DRIVE-THROUGH 1 SPACE PER 100 SF OF GROSS FLOOR AREA 2,021 SF / 100 SF = 21 SPACES RESTAURANT WITH DRIVE-THROUGH 1 SPACE PER 100 SF OF GROSS FLOOR AREA 2,084 SF / 100 SF = 21 SPACES RETAIL STORE 1 SPACE PER 300 SF OF GROSS FLOOR AREA 4,088 SF / 300 SF = 14 SPACES 56 TOTAL SPACES
PARKING PROVIDED:	53 REGULAR SPACES 3 HANDICAP SPACES 56 TOTAL SPACES
BICYCLE PARKING REQUIRED:	2 SPACES / BUSINESS X 3 BUSINESSES = 6 TOTAL SPACES (MINIMUM)
BICYCLE PARKING PROVIDED:	8 SPACES
TOTAL SITE AREA	
CURRENT:	105,061 SF OR 2.41 ACRES
AFTER R-O-W DEDICATION:	100,256 SF OR 2.30 ACRES
DISTURBED AREA	93,097 SF OR 2.14 ACRES
EXISTING IMPERVIOUS AREA	7,567 SF OR 0.17 ACRES
PROPOSED TOTAL IMPERVIOUS AREA:	46,534 SF OR 1.07 ACRES = 46.4%
PROPOSED BUILDING COVERAGE	8,193 SF / 100,256 SF = 8.2%
PROPOSED PAVED SURFACE TO LAND AREA:	38,341 SF / 100,256 SF = 38.2%
PROPOSED OPEN SPACE TO LAND AREA:	53,722 SF / 100,256 SF = 53.6%
BUILDING AREA:	RETAIL: 4,088 SF RESTAURANTS: 4,105 SF TOTAL: 8,193 SF
MAXIMUM BUILDING HEIGHT:	27'-0"
WATER:	CITY OF WINSTON-SALEM UTILITIES
SEWER:	CITY OF WINSTON-SALEM UTILITIES
PUBLIC / PRIVATE STREETS:	0 LF
WATERSHED DESIGNATION:	NOT IN A WATER SUPPLY WATERSHED

SITE PLAN LEGEND		
REVIEW INFORMATION Type of Review: Special Use Rezoning Site Plan Amendments Special Use Permit (Hotels/Body Only) Final Development Plan Preliminary Subdivision Planning Board Review Jurisdiction: City of Winston-Salem Forsyth County Village of Clemmons Town of Walkersville Purpose Statement: The purpose of this request is to CONSTRUCT A RESTAURANT WITH DRIVE-THRU, RETAIL, AND ASSOCIATED PARKING & UTILITIES.	ZONING Existing Zoning: HB-S Proposed Zoning: HB-L Proposed Use: RESTAURANT WITH DRIVE-THRU, RETAIL (Use UIC) Terminology	OFF-STREET PARKING (if applicable) Proposed Use(s): RESTAURANT Required Parking: 7 Spaces / 100 SF (more than one calculation may be needed) Proposed Use(s): RETAIL Required Parking: 7 Spaces / 300 SF (more than one calculation may be needed) Parking Provided: 56 SPACES + 6 BICYCLE SPACE REQUIRED & PROVIDED
INFRASTRUCTURE Public: Private Water: 0 Sewer: 0 Streets: 0 Linear feet of public streets: 0 ft.	DENSITY CALCULATIONS # of Units or Lots: N/A Density: Units/Lots per Acre (Note: If more than one type of residential product is proposed, provide the number of units & density broken down by type.)	OFF-STREET LOADING (if applicable) Loading/Unloading Spaces Required: 0 Loading/Unloading Spaces Provided: 0 Size: N/A
SETBACKS AND COVERAGES Total Coverage: 2.30 Acres Site Coverages: Building to Land: 8.2 % Pavement to Land: 38.2 % Open Space: 53.6 % Building Setback Footage: 8,193 ft. Building Height: (TOP PARAPET), 27.0 ft.	PROPERTY INFORMATION PIN #s: 6805-41-0484 00	BUFFERYARDS Adjoining Zoning: RMB-S Type Required: 2 Width Provided: 75 ft.
WATERSHED CALCULATIONS (if applicable) Watershed calculations are required for all non-residential development and residential developments using built upon areas in the watershed. SUDA Application Submitted: Yes <input checked="" type="checkbox"/> No		
CALCULATION #1 (Use this calculation for projects located in water supply watersheds, except for sites located in Winston-Salem & Forsyth County in the Salem Lake watershed.) Name of Watershed: Total Site Square Footage: Sq. Ft. Less: Existing Built Upon Area (as of 1/1/94): Sq. Ft. Vacant Land Area (as of 1/1/94): Sq. Ft. Maximum New Built Upon Area (% below stress Vacant Land Area): Sq. Ft. WS-IV Balance of Watershed: 36% if no curb & gutter 24% with curb & gutter WS-IV Reservoir Protection Area & WS-III Watersheds: 24% Total Maximum Coverage: (Existing Built Upon Area plus Maximum New Built Upon Area) Proposed Built Upon Area:	CALCULATION #2 (Use this calculation for projects located in the Salem Lake watershed and within the jurisdiction of the City of Winston-Salem or Forsyth County) Total Site Square Footage: Sq. Ft. Maximum Calculated Coverage: Sq. Ft. > 12% within the Reservoir Protection Area > 24% within the Balance of the Watershed > 30% with Stormwater Control Existing Built Upon Area: > Winston-Salem (as of July 1, 1991) > Forsyth County (as of January 1, 1994) Maximum Calculated Coverage: Sq. Ft. (Greater of maximum calculated Coverage or Existing Built Upon Area) Proposed Built Upon Area: Sq. Ft.	CONTACT INFORMATION WATER: CITY / COUNTY UTILITIES 101 MAIN STREET, SUITE 357 CONTACT: JACK FITZGERALD TELEPHONE: (336) 747-7309 STORM DRAINAGE: WINSTON-SALEM / FORSYTH COUNTY STORMWATER 101 MAIN STREET, SUITE 53 CONTACT: MATT OSBORNE TELEPHONE: (336) 747-7309 SANITARY SEWER: CITY OF WINSTON-SALEM PUBLIC WORKS 101 MAIN STREET, SUITE 357 CONTACT: JACK FITZGERALD TELEPHONE: (336) 747-7309 GAS: PIEDMONT NATURAL GAS CONTACT: GREG BUSTON TELEPHONE: (336) 724-1808 ELECTRIC: DUKE ENERGY CONTACT: CUSTOMER SERVICE TELEPHONE: (800) 582-2626 TELEPHONE: AT&T TELEPHONE: (877) 288-2020 PLANNING / ZONING: WINSTON-SALEM / FORSYTH COUNTY INSPECTIONS 101 E. FIRST STREET, SUITE 328 WINSTON-SALEM, NC 27101 CONTACT: FRED HOLBROOK TELEPHONE: (336) 727-2328

SITE PLAN LEGEND		
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REVISIONS:			
NO.	DATE	DESCRIPTION	BY
1	06-14-19	CITY COMMENTS	JWR
2	06-20-19	UPDATE BUILDING AREAS	RCN
3	06-26-19	CITY COMMENTS #2	JWR

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SHEET INDEX

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- C-2 SITE PLAN
- C-3 STORM WATER MANAGEMENT PLAN
- C-3a DETAILED GRADING PLAN
- C-3b EROSION CONTROL PLAN - PHASE 1
- C-3c EROSION CONTROL PLAN - PHASE 2
- C-3d NPDES STABILIZATION PLAN
- C-3e NPDES STABILIZATION DETAILS
- C-4 UTILITY PLAN
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- C-8 STORMWATER SCM LANDSCAPE PLAN AND DETAILS
- C-9 STORMWATER BMP DETAILS
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- DA-1 PRE DEVELOPMENT DRAINAGE AREA MAP
- DA-2 POST DEVELOPMENT DRAINAGE AREA MAP



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