

ABBREVIATIONS

A/C	AIR CONDITIONING	JT	JOINT
ADD'L	ADDITIONAL	LAV	LAVATORY
AF	ABOVE FINISH FLOOR	LN	LINEAR
ASF	ABOVE SUB FLOOR	LP	LOW POINT
ATS	ABOVE TOP OF SLAB	LVL	LAMINATED VENEER LUMBER
ALT	ALTERNATE	MAX	MAXIMUM
ALUM	ALUMINUM	MC	MECH. CONTRACTOR
APPROX	APPROXIMATE	MECH	MECHANICAL
BD	BOARD	MFR	MANUFACTURE (R) (ING)
BLDG	BUILDING	MIN	MINIMUM
BLK	BLOCK	MISC	MISCELLANEOUS
BLKG	BLOCKING	MO	MASONRY OPENING
BM	BEAM	MTD	MOUNTED
BOTT	BOTTOM	MTL	METAL
BRG	BEARING	N	NORTH
BV	BOTTOM OF	NIC	NOT IN CONTRACT
C/C	CENTER TO CENTER	NO	NO OR #
CJ	CONSTRUCTION JOINT	NOM	NOMINAL
CLG	CEILING	NTS	NOT TO SCALE
CLR	CLEAR	OC	ON CENTER
CNTR	CENTER	OD	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OPNG	OPENING
CO	CLEAN OUT	OPP	OPPOSITE
COL	COLUMN	PAC	POWDER ACTIVATED FASTENER
CONC	CONCRETE	PLMB	PLUMBS CONTRACTOR
CONSTR	CONSTRUCTION	PL	PLASTIC LAMINATE
CONTR	CONTRACTOR	PLMB	PLUMBING
CONT	CONTINUOUS	PLYMB	PLYWOOD
DET	DETAIL	PNL	PANEL
DN	DOWN	PRFAB	PREFABRICATED
DM	DIMENSION	PROJ	PROJECT
DN	DOWN	PVC	POLYVINYL CHLORIDE
DS	DOWNSPOUT	R	RADIUS
DWG	DRAWING	R	RISER
EA	EACH	RD	ROOF DRAIN
EC	ELEC. CONTRACTOR	RECP	RECEPTACLE
EL	ELEVATION	REINF	REINFORCING
ELEC	ELECTRIC (AL)	REQ'D	REQUIRED
ELEV	ELEVATOR	RES	RESILIENT
EPS	EXPANDED POLYSTYRENE	REV	REVISION
EW	EACH WAY	RM	ROOM
EW	ELECTRIC WATER COOLER	RO	ROUGH OPENING
EXIST	EXISTING	SAC	SUSPENDED ACOUSTICAL CEILING
EXP JT	EXPANSION JOINT	SAC-1	SAC-1 HOUR RATED
EXT	EXTERIOR	SECT	SECTION
F/C	FREEZER/COOLER BOX	SHT	SHEET
FDN	FOUNDATION	SIM	SIMILAR
FIN	FINISH	SPEC	SPECIFICATIONS
FLR	FLOOR	STL	STEEL
FT	FEET	STRCT	STRUCTURAL
FTG	FOOTING	STR	STRUCTURAL
GALV	GALVANIZED	T & B	TOP AND BOTTOM
GC	GENERAL CONTRACTOR	T & G	TONGUE AND GROOVE
GYP	GYPSONUM	T	TREAD
HDW	HARDWARE	T/O	TOP OF
HM	HOLLOW METAL	TRT	TREATMENT
HORIZ	HORIZONTAL	UNL	UNLESS OTHERWISE NOTED
HP	HIGH POINT	VCT	VINYL COMPOSITION TILE
HT	HEIGHT	VERT	VERTICAL
HVAC	HEATING/VENTILATION/AIR CONDITIONING	VWC	VINYL WALL COVERING
HYG	HYGIENE	WC	WATER CLOSET
ID	INSIDE DIAMETER	WO	WOOD
IN	INCH	WH	WATER HEATER
INFO	INFORMATION	W/	WITH
INSUL	INSULATION	W/O	WITHOUT
INT	INTERIOR	WWF	WELDED WIRE FABRIC
INV	INVERT		

PROJECT

GEMCAP DEVELOPMENT

PROJECT SITE

4809 COUNTRY CLUB ROAD
WINSTON SALEM, NC

OWNER

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LIST OF DRAWINGS

SHEET	DESCRIPTION	REVISIONS
G001	COVER SHEET	△ △ △ △
CIVIL		
C-0	COVER SHEET	
C-1	EXISTING CONDITIONS/ DEMOLITION PLAN	
C-2	SITE PLAN	
C-3	GRADING & EROSION CONTROL PLAN	
C-3a	NPDS STABILIZATION PLAN	
C-3b	NPDS STABILIZATION DETAILS	
C-4	UTILITY PLAN	
C-5	DETAILS	
C-6	DETAILS	
C-7	DETAILS	
C-8	STORM WATER BMP PLAN	
C-9	STORM WATER BMP PLAN	
C-10	LANDSCAPE PLAN	
C-11	LIGHT PLAN	
GENERAL		
G002	APPENDIX B	
G001	LIFE SAFETY PLAN	
G102	OCCUPANCY PLAN	
ARCHITECTURAL		
A111	FLOOR PLAN	
A161	ROOF PLAN	
A201	EXTERIOR ELEVATIONS	
A202	EXTERIOR ELEVATIONS	
A301	BUILDING SECTIONS	
A302	WALL SECTIONS	
A303	WALL SECTIONS	
A304	WALL SECTIONS	
A501	EXTERIOR DETAILS	
A502	DETAILS	
A601	DOOR, WINDOW, HARDWARE SCHEDULE	
STRUCTURAL		
S0.0	GENERAL NOTES	
S1.0	FOUNDATION PLAN	
S1.1	ROOF FRAMING PLAN	
S2.0	TYPICAL DETAILS	
S2.1	TYPICAL DETAILS	
S3.0	SECTIONS	
PLUMBING		
P001	PLUMBING NOTES, LEGEND AND SCHEDULES	
P111	PLUMBING SHELL PLAN	
ELECTRICAL		
E111	ELECTRICAL SHELL PLAN	
E601	ELECTRICAL SCHEDULES, NOTES, RISER AND DETAILS	

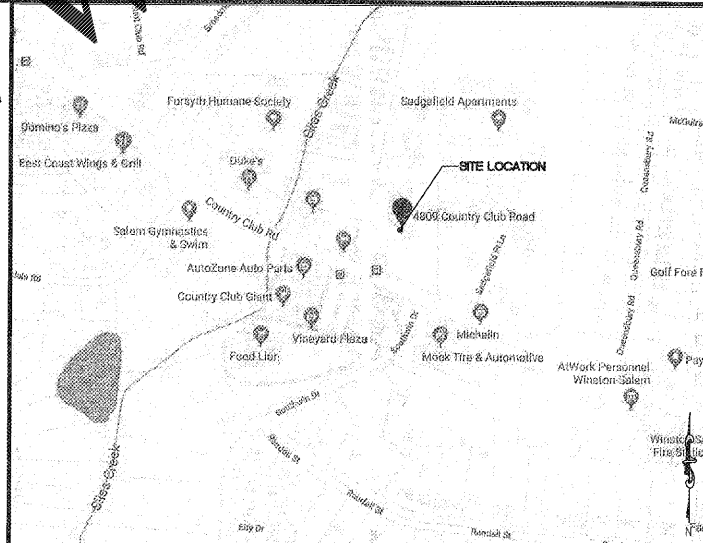
GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF FEDERAL, STATE, AND LOCAL CODES, LAWS, RULES, & REGULATIONS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
- CONTRACTOR TO VERIFY FIT & FINISH REQUIREMENTS FOR ALL PROJECT COMPONENTS, WITH OWNER, PRIOR TO ORDERING MATERIALS. REPORT CONFLICTING INFORMATION TO OWNER PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION & CONSTRUCTION DEBRIS AS REQUIRED BY FEDERAL, STATE, AND LOCAL ORDINANCES.
- CONTRACTOR SHALL STENCIL/LABEL ON ALL RATED WALLS IN CONCEALED AREAS THE FOLLOWING: "FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS".
- BY THE USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY.
- CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT PRIOR TO ANY WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ACQUAINT HIMSELF WITH THE DIMENSIONS OF ALL EQUIPMENT INCLUDED IN THIS PROJECT SO THAT PREPARATIONS CAN BE MADE TO PROVIDE ENTRY INTO THE FACILITY WITH SUFFICIENT CLEARANCE, AND TO ENSURE THAT ADEQUATE FLOOR SPACE IS AVAILABLE.
- CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILING, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS. ANY SUCH DIMENSIONS MISSING FROM THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL ADHERE TO THE DRAWINGS AND SPECIFICATIONS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE TRUE MEANING AND/OR INTENT OF THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE ARCHITECT WHO WILL MAKE ANY NECESSARY CLARIFICATION, INTERPRETATION, OR REVISION AS NECESSARY.
- IF THE CONTRACTOR DISCOVERS AN ERROR OR INCONSISTENCY AND PROCEEDS WITH WORK WITHOUT NOTIFYING THE OWNER & ARCHITECT OF ANY SUCH DISCREPANCY, HE SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS WORK MADE NECESSARY BY HIS FAILURE TO OBSERVE AND/OR REPORT THE CONDITION.
- IF THE INTENT OF THE DRAWINGS & SPECIFICATIONS ARE UNCLEAR, THE CONTRACTOR SHALL ASK THE ARCHITECT FOR CLARIFICATION, PRIOR TO PROCEEDING WITH WORK. THE CONTRACTOR SHALL WRITE IN WRITING R.F.I. (REQUEST FOR INFORMATION). THE ARCHITECT SHALL THEN RESPOND IN WRITING TO ALL APPROPRIATE PARTIES.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS, DAMAGE, FIRE, THEFT, ETC.
- WHEREVER THE TERM "OR EQUAL" IS USED, IT SHALL MEAN EQUAL PRODUCT AS APPROVED IN WRITING BY ARCHITECT.
- IF THE CONTRACTOR PROPOSES A MATERIAL OR EQUIPMENT SUBSTITUTION HE SHALL PROVIDE ALL APPROPRIATE DOCUMENTATION AND INFORMATION REQUIRED BY THE ARCHITECT TO DETERMINE WHETHER OR NOT THE SUBSTITUTION IS EQUAL TO THE SPECIFICATION.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY INWALL FRAMING REQUIRED TO CARRY OVER HANGING LIGHT FIXTURES, RAILINGS, ETC. AS PER PLANS.
- PROVIDE SILICONE SEALANT AT ALL JOINTS AND INTERFACES OF ALL COUNTERTOPS, EQUIPMENT AND CABINETS.
- PROJECT SHALL BE LEFT CLEANED AND POLISHED AFTER COMPLETION OF WORK.
- CONTRACTOR SHALL REFER TO THESE DOCUMENTS, AS WELL AS SPECIFICATIONS, FOR IDENTIFICATION OF ALL ITEMS NOT MARKED AS "OWNER SUPPLY". CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY. ALL ITEMS NOT MARKED AS "OWNER SUPPLY" SHALL BE DELIVERED TO THE CONTRACTOR. UNLESS NOTED OTHERWISE ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
- MINIMUM FLAME SPREAD CLASSIFICATION OF INTERIOR FINISHES SHALL COMPLY WITH THE BUILDING CODES AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
- CONTRACTOR SHALL CONTACT THE LOCAL FIRE MARSHAL TO PROVIDE AND INSTALL ALL FIRE EXTINGUISHERS PER THE FIRE MARSHAL'S DIRECTION, INCLUDING: TYPE, QUANTITY, AND LOCATIONS. AS A MINIMUM, CONTRACTOR SHALL PROVIDE FIRE EXTINGUISHERS HAVING A RATING OF 2-10ABC FOR EVERY 3,000 SF. OF FLOOR AREA AND TRAVEL DISTANCE TO AN EXTINGUISHER SHALL NOT EXCEED 75 FEET.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS/DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE START OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR, AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND SURFACES AS REQ'D. UPON COMPLETION OF CONSTRUCTION, ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.

SYMBOL LEGEND

DRAWING SUBTITLE	
DETAIL MARKS	
ELEVATION MARK	
SECTION MARKS	
ROOM TAG	
DOOR NUMBER	
EQUIPMENT	
ELEVATION DATUM	
CEILING TAG	
NOTE REFERENCE	
WALL + BASE FINISH TAGS	
WALL TYPE	

VICINITY MAP



SCOPE OF WORK

- NEW FREE STANDING 8,193 SQUARE FOOT SHELL BUILDING.

DESIGNERS OF RECORD

DISCIPLINE	NAME	ADDRESS	LIC. #
ARCHITECT	TAMMY GAWES	3005 CARRINGTON MILL BLVD, MORRISVILLE, NC 27560	13698
ELECTRICAL	NELSON RAY THORNTON	3005 CARRINGTON MILL BLVD, MORRISVILLE, NC 27560	17561
PLUMBING	SHAWN SLYTER	3005 CARRINGTON MILL BLVD, MORRISVILLE, NC 27560	032078
STRUCTURAL	BRET UNDERWOOD	999 WATERSIDE DRIVE, NORFOLK, VA 23510	037779
CIVIL	JEREMY J BECKETT	8312 CREEDMOOR RD, RALEIGH, NC 27613	26411

CODES

2018 NORTH CAROLINA BUILDING CODE
 2018 NORTH CAROLINA MECHANICAL CODE
 2018 NORTH CAROLINA PLUMBING CODE
 2018 NORTH CAROLINA FIRE CODE
 2017 NATIONAL ELECTRICAL CODE
 2013 ASHRAE 90.1

PROJECT: RETAIL SHOPS

4809 COUNTRY CLUB ROAD
WINSTON SALEM, NC

DRAWING: COVER SHEET

Revisions

REVISION DATE

PROJECT DATE
6/19/2019

Drawn By
MTP

Checked By
TD

Sheet No.

G001