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**PROJECT:**  
NEW O'REILLY AUTO PARTS STORE  
US HWY 43  
WINFIELD, AL  
**SITE DEVELOPMENT PLAN**

**O'Reilly AUTO PARTS**  
CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
(417) 862-2674 TELEPHONE

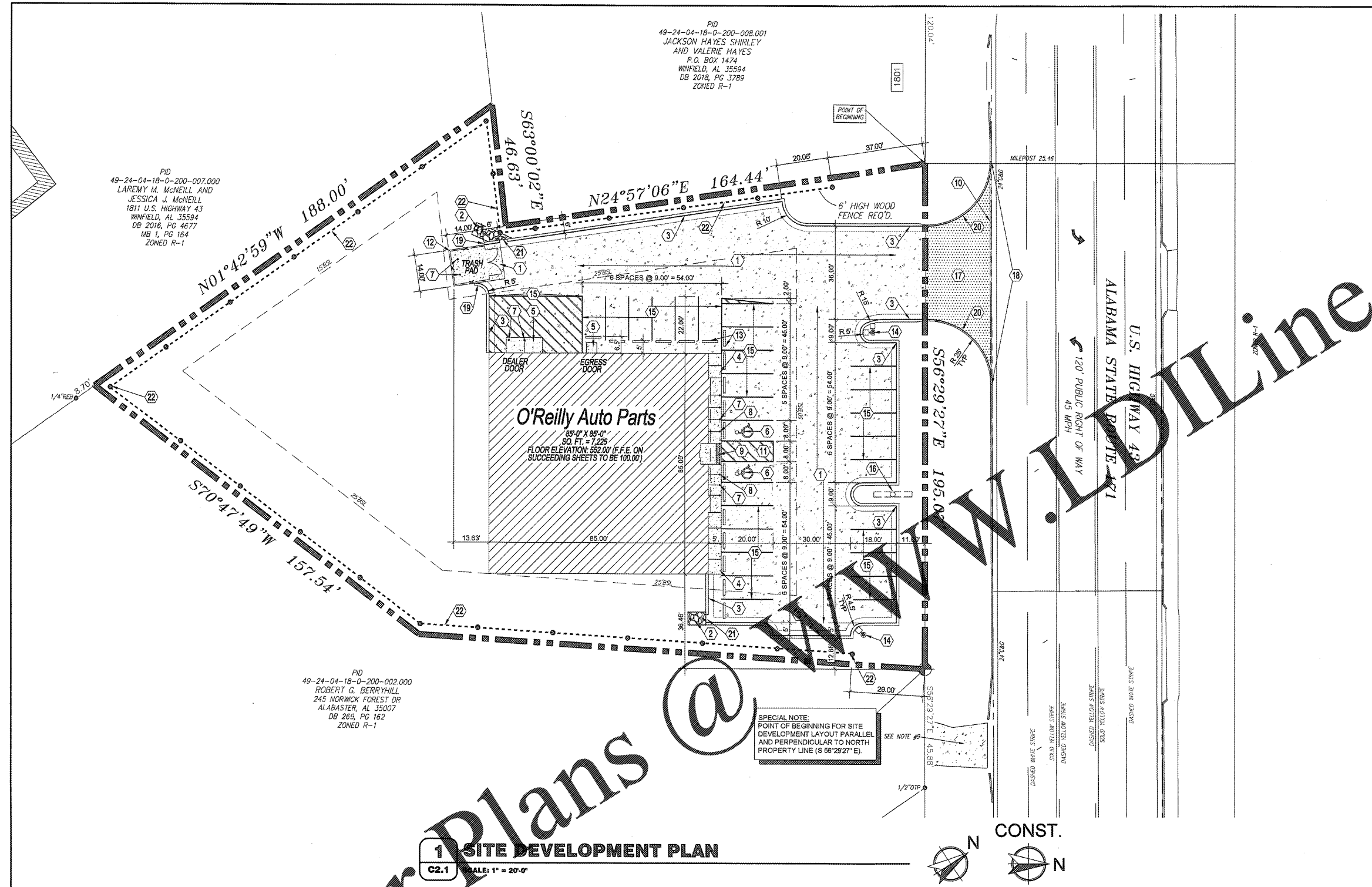
COMM # 4308  
DATE: 5-3-19  
REVISION  
DATE:

**GENERAL NOTES**

- A REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS. ALL ON SITE CONCRETE TO BE 4,000 PSI.
- B SITE DIMENSIONS TO FACE OF CONCRETE FOUNDATION, SIDEWALK, CURB GUTTER LINE, PROPERTY LINE, OR CENTER LINE OF STRIPING UNLESS OTHERWISE NOTED.
- C COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D REFER TO STRUCTURAL DRAWINGS FOR BUILDING DIMENSIONS AND LAYOUT OF SIDEWALKS ADJACENT TO BUILDING PERIMETER.
- E PRIOR TO INSTALLATION, CONTRACTOR TO VERIFY LOCATIONS OF LIGHT POLES, LANDSCAPING AND UTILITIES DO NOT CONFLICT WITH SITE SIGN LOCATION SHOWN. IF CONFLICT IS DISCOVERED, CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH THE WORK.

**KEY NOTES**

- 1 CONCRETE PAVING (STANDARD DUTY) AT PARKING AREAS, (HEAVY DUTY) AT DRIVE AREAS, AND REFUSE AREA, REFER TO DETAIL 1/C2.2.
- 2 AREA OF RIP-RAP, REFER TO SITE GRADING PLAN.
- 3 CONCRETE CURB, REFER TO DETAIL 3/C2.2.
- 4 CONCRETE SIDEWALK, REFER TO DETAIL 4/C2.2. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS ADJACENT TO BUILDING PERIMETER.
- 5 CONCRETE DOOR LANDING, REFER TO DETAIL 5/C2.2 AND STRUCTURAL DRAWINGS. LANDING MAY BE POURED MONOLITHIC WITH PAVING IF CONCRETE PAVING IS PROVIDED.
- 6 ACCESSIBLE PARKING SYMBOL PAVEMENT STRIPING, REFER TO DETAIL 6/C2.2.
- 7 STEEL BOLLARD, REFER TO DETAIL 7/C2.2. PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (9) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
- 8 ACCESSIBLE PARKING SIGN, REFER TO DETAIL 8/C2.2.
- 9 DETECTABLE WARNING SURFACE, REFER TO DETAIL 9/C2.2.
- 10 REMOVE PORTION OF EXISTING CURB AS REQUIRED TO INSTALL NEW ENTRANCE DRIVE AS REQUIRED.
- 11 ACCESSIBLE PARKING SPACE WITH ACCESS AISLE (ADA COMPLIANT) TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. PROVIDE PAVEMENT MARKINGS TO MATCH STRIPING COLOR UNLESS OTHERWISE REQUIRED TO COMPLY WITH GOVERNING ACCESSIBILITY REGULATIONS.
- 12 REFUSE ENCLOSURE, REFER TO 1/C2.3.
- 13 CONCRETE BUMPER BLOCK (8' W X 5' H X 6'-0" LONG) ANCHORED TO PAVING WITH (2) 1'-6" LONG #4 REBAR.
- 14 PARKING LOT LIGHTING, REFER TO SITE UTILITY PLAN FOR TYPE AND CONSTRUCTION.
- 15 4" WIDE PAVEMENT STRIPING AS SHOWN USING HIGHWAY MARKING PAINT - YELLOW (2 COATS).
- 16 SITE SIGN, REFER TO SHEET SG1.1 FOR TYPE, CONSTRUCTION AND LOCATION. SIGN OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE). REFER TO SITE UTILITY PLAN FOR ADDITIONAL REQUIREMENTS.
- 17 ASPHALT DRIVE APRON AS REQUIRED BY AL DOT REQUIREMENTS, REFER TO CIVIL FOR ADDITIONAL INFORMATION.
- 18 LIMITS OF NEW PAVING. MATCH EXISTING PAVEMENT TRANSITION ELEVATIONS AT TRANSITIONS OF NEW CONCRETE TO EXISTING CONCRETE PAVEMENT, EPOXY DOWEL 6" MINIMUM INTO EXISTING WITH #4 X 1'-6" SMOOTH DOWELS MATCHING NEW PAVEMENT REINFORCEMENT SPACING. PROVIDE SEALANT AT JOINTS.
- 19 ROLL DOWN CURB END TRANSITION SLOPING 1:2.
- 20 CONCRETE CURB IN RIGHT-OF-WAY TO MATCH EXISTING PER CITY AND / OR STATE DESIGN STANDARDS.
- 21 CURB OPENING, REFER TO SITE GRADING PLAN FOR ADDITIONAL REQUIREMENTS.
- 22 6'-0" TALL FENCE: 670 L.F. INSTALLED 1' OFF PROPERTY LINE. REFER TO 10/C2.2 FOR MORE INFORMATION.



**1 SITE DEVELOPMENT PLAN**  
C2.1 SCALE: 1" = 20'-0"

**SYMBOLS LEGEND**

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND
- NEW BUILDING CONSTRUCTION
  - AREA OF CONCRETE
  - AREA OF PAVING
  - NEW POLE SIGN LOCATION
  - NEW CONCRETE PAVING BLOCK
  - NEW LIGHT POLE LOCATION
  - NEW FENCE CONSTRUCTION
  - NEW FENCE CONSTRUCTION

**ZONING CODE**

ZONING CLASSIFICATION: B-1 (REFER TO SURVEY)  
PROPERTY AREA: 15,000 SQ. FT.  
PARKING SUMMARY: N/A  
PARKING FORMULA: N/A  
SPACE SIZE: N/A  
SPACES REQUIRED: 30  
SPACES PROVIDED: 30  
H.C. SPACES PROVIDED: 2

**SPECIAL NOTE:**  
POINT OF BEGINNING FOR SITE DEVELOPMENT LAYOUT PARALLEL AND PERPENDICULAR TO NORTH PROPERTY LINE (S 56°29'27" E). SEE NOTE #9.

**SPECIAL NOTE:**  
PRIOR TO CONTRACT CLOSEOUT, CONTRACTOR SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE SITE SURVEY OF COMPLETED PROJECT CONDITIONS AND SUBMIT FOR REVIEW AND APPROVAL BY OWNER. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

**CAUTION:**  
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.



**Know what's below  
Call before you dig.**