

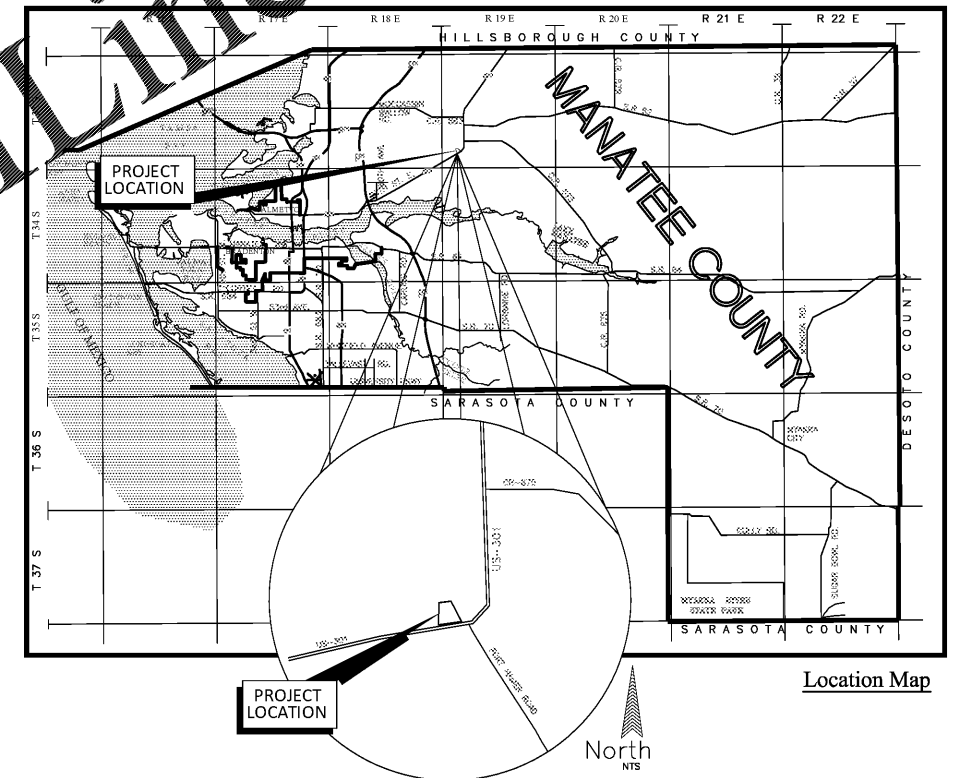
7-Eleven, Parrish

Final Site Plan/Construction Plans

LOCATED IN
SECTION: 32, TOWNSHIP: 33S, RANGE: 19E
MANATEE COUNTY, FLORIDA

INDEX PROJECT NO. SEP-01

SHEET	DESCRIPTION
1.)	COVER SHEET
2.)	FINAL SITE PLAN
3.)	PAVING, GRADING & DRAINAGE PLAN
4.)	WATER & SEWER PLAN
5.-6.)	PAVING, GRADING & DRAINAGE DETAILS
7.)	WATER DETAIL
8.)	SEWER DETAIL
9.)	LIFT STATION PLAN & DETAILS
10.)	30' RIGHT-TURN LANE, SIDEWALK & BIKE LANE IMPROVEMENTS
11.)	SIGN DISTANCE TRIANGLE PLAN
SL1)	LANDSCAPE PLAN (by KURT R. CRIST, R.L.A.)
SL2)	BOUNDARY, TOPOGRAPHIC & TREE SURVEY (by ALTAMAX)
SL3)	SITE LIGHTING PLAN (by INTERPLAN)



Final Site Plan Standards

EXISTING SITE CONDITIONS:
TOTAL PROJECT ACREAGE ± 2.99
BUILDINGS (4.33%) 1.3 AC
PARKING/SIDEWALKS (43.14%) 1.29 AC
OPEN SPACE (52.51%) 1.57 AC 20% OPEN SPACE REQUIRED (NCO)
(100.00%) 2.99 AC
NOTE: STORM POND = 10,339 SF (45 AC) IS 20% OPEN SPACE (LESS THAN 75% MAX ALLOWED)

BUILDING INFORMATION TABLE:

PROPOSED BLDG #	SF TOTALS	USAGE
#1	4,649	CONVENIENCE STORE
#2	980	AUTOMATED CAR WASH
TOTAL	5,629	

EXISTING ZONING AND LAND USE:
ONSITE: A-1 (VACANT)
NORTH: A-1 (SINGLE FAMILY RESIDENTIAL)
SOUTH: US-301 NORTH
EAST: A-1 (SINGLE FAMILY RESIDENTIAL)
WEST: A-1 (SINGLE FAMILY RESIDENTIAL/ BUSINESS)
PLU: UF-3
FLOOD ZONE: ZONE X, AREA OF MINIMAL FLOOD HAZARD, COMMUNITY PANEL NO. 12081C0328E, MAP REVISED MARCH 17, 2014
EXISTING EASEMENTS AND PLATTED STREETS, ONSITE AND ADJACENT: SEE SHEET 2
LANDSCAPE BUFFERS (NORTH CENTRAL OVERLAY) REQUIRED/PROVIDED:
NORTH: 20'/20' (ABUTS RESIDENTIAL EXCL. MF)
SOUTH: 50'/50' (ROADWAY)
EAST: 50'/50' (FUTURE ROADWAY)
WEST: 20'/20' (ABUTS RESIDENTIAL EXCL. MF)
LOCATION OF EXISTING TREE GROUPINGS: N/A
UTILITY INFORMATION: LOCATION, SIZE AND DEPTH OF SEWERS, WATERMANS, STORMDRAINS AND APPROX. LOCATION OF POWER AND PHONE ONSITE OR ADJACENT TO SITE, SEE SHEETS 3, 4 & S1
WETLANDS: NO EXISTING WETLANDS ONSITE.
HISTORIC OR INDIAN MOUNDS ON SITE: NO KNOWN HISTORIC OR INDIAN MOUNDS
PROPOSED SITE DESIGN: EXISTING VACANT LOT TO BE DEVELOPED AS CONVENIENCE STORE WITH GAS PUMPS (RETAIL) WITH CAR WASH.

PARKING REQUIRED:
(1/200)(4,649 SF) = 23.24, SAY 24 REQ'D.
GAS PUMPS (1/2 PUMPS)(18 PUMPS) = 9, SAY 9 REQ'D.
TOTAL REQUIRED = 24 + 9 = 33
TOTAL PROVIDED = 33; 2 HC + 27 REGULAR + 9 FUEL PARKING SPACES + 4 SPACE BIKE RACK
AUTOMATED CAR WASH (ONE BAY): (4 STACKING SPACES/ WASH BAY) = 4 STACKING SPACES REQ'D;
4 STACKING SPACES PROVIDED.

TYPICAL PARKING SPACES:
SEE SHEETS 2 & 3

BUILDING SETBACKS REQUIRED/PROVIDED:
NORTH: (SIDE) 15'/139.8'
SOUTH: (FRONT) 30'/176'
EAST: (FRONT) 30'/111.19'
WEST: (SIDE) 15'/29'

BUILDING HEIGHT:
1 STORY HIGH, 35' MAXIMUM HEIGHT

FLOOR AREA RATIO:
(GROSS FLOOR AREA (S.F.) / GROSS S.F.)
5,629/130,244 SF = .04 (.35 MAX FAR ALLOWED)

PROPOSED DRAINAGE:
SEE SHEET 3

DEVELOPMENT CONSTRUCTION SCHEDULE:
SEPTEMBER 2019 - START, SEPTEMBER 2022 - COMPLETION

PROPOSED EASEMENTS, RESERVATIONS & DEDICATIONS:
OWNERSHIP AND MAINTENANCE AGREEMENTS WILL BE PROVIDED BY ENTRY TO BE SET UP.

ONSITE UTILITIES:
ALL ONSITE UTILITIES INCLUDING POTABLE WATER AND SANITARY SEWER ARE TO BE PRIVATELY OWNED AND MAINTAINED. THE POTABLE WATER SERVICE THAT CONNECTS TO 121ST AVENUE IS TO BE PRIVATELY OWNED AND MAINTAINED EXCEPT FOR THE POTABLE WATER METER WHICH IS TO BE COUNTY OWNED AND MAINTAINED. THIS SERVICE WILL BE PRIVATELY OWNED AND MAINTAINED UNTIL SUCH TIME THAT THE WATER SERVICE IS RECONNECTED TO THE FUTURE WATER MAIN EXTENSION PLANNED WITH THE FORT HAMER ROAD EXTENSION, UPON RECONNECTION THE COUNTY WILL OWN AND MAINTAIN THE SERVICE UP TO AND INCLUDING THE POTABLE WATER METER.

SCHOOL NEEDS:
NO SCHOOL NEEDS ASSOCIATED W/ SITE

LIGHTING:
LIGHTING TO BE IN COMPLIANCE WITH SECTION 708 (INCLUSIVE OF 709.1 THROUGH 709.5)
18' MIN. HEIGHT FOR LIGHTING, ILLUMINATION FOR ADJACENT PARCELS SHALL NOT EXCEED 1 FOOT CANDLE FEET INSIDE THE ADJACENT PROPERTY.
THE LIGHTING CONTRACTOR SHALL OBTAIN A COPY OF THESE REQUIREMENTS SO THEIR INSTALLATION CAN COMPLY.
ALL LIGHTING SHALL BE WALL PACK OR OTHER LIGHTING PROPOSED.

SIGNAGE: (PER LDC TEL 2):
498 LF US301 FRONTAGE;
12' MAX HEIGHT; 12' MAX SIGN AREA.

WELLS:
THERE ARE NO EXISTING WELLS ONSITE.

BID SET
7-1-2019

Manatee County Building & Development Services Department Signature Block

Project Number: POC-18-26/FSP-19-26 Project Name: 7-ELEVEN PARRISH
Approval Type: FINAL SITE PLAN Accela Number: PLN1903-0205

PROJECT PLANNER	_____	DATE _____
PROJECT ENGINEER	_____	DATE _____
CONCURRENCY	_____	DATE _____
ENVIRONMENTAL PLANNING	_____	DATE _____
ENVIRONMENTAL HEALTH	_____	DATE _____
FIRE DISTRICT	_____	DATE _____

Attention: The combination of this signed plan and accompanying approval letter constitutes the complete approval document. Both documents should be provided to interested parties and submitted with any building permit application. There may be other documents, including a CLOS that affect this project approval.

Rec'd by OWNER/AGENT: _____ DATE _____

Prepared for:
RKM Development Corp
147 2nd Avenue South, Ste. 400
St. Petersburg, Florida 33701

Prepared by:
HOUGH ENGINEERING, INC.
CONSULTING ENGINEERS
1771 Manatee Avenue West, Bradenton, FL 34205
Phone: (941) 747-4838 Fax: (941) 747-4072

APPROVED
MARLA M. HOUGH, P.E. No. 38664 DATE _____