

**GENERAL SITE NOTES:**

- THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS GAS MAINS, WATER MAINS, ELECTRIC DUCT LINES, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION, BY ACTUAL OR FURNISHED SURVEYS, AND TAKEN FROM THE RECORDS OF THE PARENT UTILITY COMPANIES DRAWINGS OF THE EXISTING FACILITIES. HOWEVER, THE ENGINEER DOES NOT ASSUME THE RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE PLANS.
- IN THE EVENT OF A CONFLICT BETWEEN THE PLANS, SPECIFICATIONS, STANDARD NOTES, OR THE REQUIREMENTS OF OFFICIALS OF INVOLVED GOVERNMENT BODIES, PLEASE CONTACT ENGINEER OF RECORD.
- THE CONTRACTOR SHALL MAKE A PHYSICAL INSPECTION OF THE SITE BEFORE SUBMITTING A PROPOSAL FOR THE PROJECT. IT IS ASSUMED THAT THE CONTRACTOR HAS EXAMINED THE PLANS, SPECIFICATIONS AND THE SITE PRIOR TO SUBMITTING A PROPOSAL. ANY ITEMS THAT WOULD BE REASONABLY REQUIRED FOR CONSTRUCTION, WHETHER OR NOT SPECIFICALLY DENOTED IN THE PLANS SHALL BE PROVIDED BY THE CONTRACTOR.
- WHEN THE WORK AREA IS AN AREA OF DIRECT PUBLIC ACCESS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERECTING BARRICADES AND CONSTRUCTION WARNING SIGNS IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE INSPECTORS OF ALL CONCERNED GOVERNMENT AGENCIES DURING ALL PHASES OF CONSTRUCTION.
- BEARINGS AND/OR DISTANCES SHOWN ON THE PLANS SHALL TAKE PRECEDENCE OVER SCALE. SHOULD A CONFLICT EXIST, NOTIFY THE ENGINEER IMMEDIATELY.
- ANY TEMPORARY CONSTRUCTION DURING THIS PROJECT SHALL BE MADE IN SUCH A MANNER AS TO ADEQUATELY DRAIN AND BE MAINTAINED FOR THE LIFE OF THE TEMPORARY CONSTRUCTION. THE TERM OF THE PROJECT OR A PERIOD OF ONE YEAR. TEMPORARY TURNS AROUND SHALL BE CONSTRUCTED IN SUCH A MANNER AS TO ADEQUATELY DRAIN AND HAVE A SMOOTH TRANSITION FROM FINISHED PAVEMENT ELEVATIONS TO FINISHED STONE ELEVATIONS.
- ANY EXISTING OR PROPOSED VALVES, FIRE HYDRANTS, METER VAULTS, MANHOLES, SPRINKLER HEADS, ELECTRIC METERS/VAULTS, PULL BOXES, TRANSFORMERS (THIS SHALL INCLUDE ANY PADS, GRATES, LIDS, SIGNS, POSTS OR ANY OTHER ITEMS ASSOCIATED WITH SUCH APPURTENANCES), TELEPHONE PEDESTALS, CABLE BOXES, FIBER OPTIC VAULTS (BOXES), REMOVE FIRE DEPARTMENT CONNECTIONS, CLEANOUTS, SPOOTS, LIGHT POLES, FLOOD LIGHTS, AREA DRAINS, CATCH BASINS OR OTHER SUCH APPURTENANCES LOCATED WITHIN THE CONSTRUCTION SITE WHICH ARE NOT SPECIFIED TO BE REMOVED SHALL BE ADJUSTED TO MATCH FINISHED GRADES.
- ANY ALTERATION TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER & APPROPRIATE GOVERNING AGENCIES PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. FAILURE TO DO SO COULD RESULT IN A DELAY OR NON-ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL SITE LIGHTING SHALL BE DIRECTED INWARD ONTO SITE, TO INCLUDE SHIELDED HOODS. NO SITE LIGHTING SHALL SPILL ONTO ADJACENT PROPERTIES.
- SIGNAGE, STRIPING AND PAVEMENT OUTSIDE OF DEVELOPMENT ENTRANCE SHALL CONFORM WITH CITY OF CLARKSVILLE OR TENNESSEE DEPARTMENT OF TRANSPORTATION REQUIREMENTS AS REQUIRED.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- CONCRETE WALKS & PADS SHALL HAVE A BROOM FINISH. ALL CONCRETE SHALL BE 3000 PSI UNLESS OTHERWISE NOTED. CURB RAMPS & SIDEWALK SLOPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS PRIOR TO PLACEMENT OF CONCRETE.
- CONSTRUCTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS & SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10' SEGMENTS.
- ALL SIDEWALKS, CURB RAMPS AND HANDICAP PARKING SPACES SHALL MEET ALL ADA AND FAIR HOUSING ACT REQUIREMENTS.

**SITE LEGEND**

- |     |                                |     |                        |
|-----|--------------------------------|-----|------------------------|
| --- | LOT LINE                       | --- | BENCHMARK              |
| --- | PROPERTY LINE                  | ⊕   | WATER VALVE            |
| --- | BOUNDARY LINE                  | ⊕   | WATER METER            |
| --- | TREE LINE                      | ⊕   | FIRE HYDRANT           |
| --- | ROADWAY CENTERLINE             | ⊕   | ELECTRICAL TRANSFORMER |
| --- | GAS MAIN & SERVICE LINE        | ⊕   | TELEPHONE BOX          |
| --- | UNDERGROUND ELECTRIC           | ⊕   |                        |
| --- | WATER MAIN & SERVICE LINE      | ⊕   |                        |
| --- | SANITARY SEWER MAIN & SERVICE  | ⊕   |                        |
| --- | STORM SEWER LINE               | ⊕   |                        |
| --- | OVERHEAD POWER LINE            | ⊕   |                        |
| --- | UNDERGROUND ELECTRIC           | ⊕   |                        |
| --- | PUDE                           | ⊕   |                        |
| --- | MBSL                           | ⊕   |                        |
| --- | FENCELINE                      | ⊕   |                        |
| --- | STREAM LINE                    | ⊕   |                        |
| --- | SILT FENCE                     | ⊕   |                        |
| --- | EXISTING CURB                  | ⊕   |                        |
| --- | UNDERGROUND TELEPHONE          | ⊕   |                        |
| --- | PROPOSED WATER MAIN (SIZE TBD) | ⊕   |                        |
| --- | PROPOSED SANITARY SEWER        | ⊕   |                        |
| ●   | PROPOSED IRON PIN              | ⊕   | BENCHMARK              |
| ○   | EXISTING IRON PIN              | ⊕   | WATER VALVE            |
| ⊕   | STREET LIGHT                   | ⊕   | WATER METER            |
| ⊕   | UTILITY POLE                   | ⊕   | FIRE HYDRANT           |
| ⊕   | POWER POLE                     | ⊕   | ELECTRICAL TRANSFORMER |
| ⊕   | SANITARY SEWER MANHOLE         | ⊕   | TELEPHONE BOX          |
| ⊕   | STORM SEWER INLET              | ⊕   |                        |
| ⊕   | PROPOSED HEAVY DUTY PAVEMENT   | ⊕   |                        |
| ⊕   | PROPOSED LIGHT DUTY PAVEMENT   | ⊕   |                        |
| ⊕   | PROPOSED CONCRETE              | ⊕   |                        |

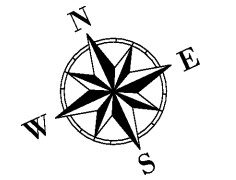
**SPECIAL NOTES:**

- ALL UTILITY LOCATIONS BASED ON LOCATION OF UTILITIES BY LOCAL UTILITY AUTHORITIES AND VISIBLE FIELD LOCATION BY OTHERS. THERE IS NO GUARANTEE THAT NO OTHER UTILITIES EITHER PUBLIC OR PRIVATE ARE NOT DISPLAYED ON THIS SURVEY.
- ALL SITE LIGHTING SHALL BE DIRECTED INWARD WITH SHIELDED HOODS. NO LIGHT SHALL SPILL ON ADJACENT PROPERTY.
- SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

**GENERAL SITE INFORMATION:**

MEHAR GROUP, LLC  
 CURRENT ZONING: C-4  
 DISTRICT: 2nd  
 DEED REF. #O.R.V. 1797, PG. 1723  
 TAX MAP NO. 33.0 PARCEL NO. 3.01

TOTAL ACREAGE: 189,583 SF (4.35 ± ACRES)  
 PROPOSED BUILDING COVERAGE: 19,276 SF (10.2%)  
 PROPOSED IMPERVIOUS AREA: 91,005 SF (48.0%)  
 PROPOSED PARKING REQUIRED: 129  
 PROPOSED PARKING PROVIDED: 140  
 HANDICAP PARKING REQUIRED: 5  
 HANDICAP PARKING PROVIDED: 8  
 BUILDING HEIGHT: 61' MAXIMUM



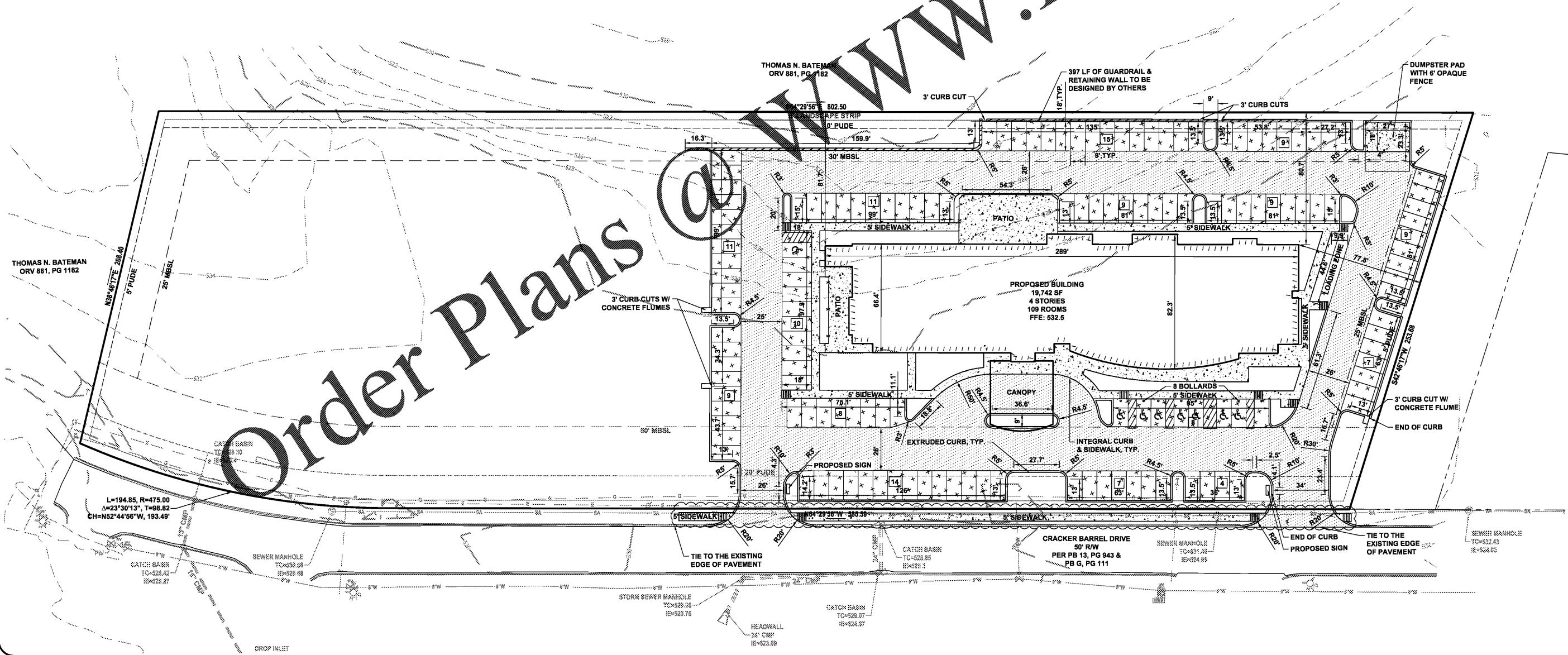
DATE	REVISIONS	COMMENTS
12/15/18	CHANGED PARKING LAYOUT	
1/07/19	REMOVED ONE 90° BEND, MOVED FIRE HYDRANT, ADDED SIDEWALK ALONG BARREL DRIVE	
3/11/19	NEW FLOOR PLAN, ALL UTILITIES EXISTING BUILDING MOVED, CHANGED/ADDED ROOF DRAINS	

**HOLIDAY INN**  
**SITE LAYOUT PLAN**  
 215 CRACKER BARREL DR., CLARKSVILLE  
 MONTGOMERY COUNTY, TENNESSEE  
 March 11, 2019

**MCKAY-BURCHETT & COMPANY ENGINEERS**  
 1545 Madison Street  
 Clarksville, TN 37040  
 Ph # 931-245-3095

DRAWN BY: KCOOK  
 CHECKED BY: C.BURCHETT

**SHEET: C 1.00**



Order Plans @