

- DEMOLITION NOTES:**
- CONTRACTOR SHALL PROVIDE NECESSARY SIGNAGE, BARRICADES OR OTHER DEVICES FOR THE PROTECTION OF THE PUBLIC, CONSTRUCTION WORKERS AND TRAFFIC CONTROL.
  - ALL DISTURBED AREAS SHALL BE COMPLETELY RESTORED TO EQUAL OR BETTER CONDITION PRIOR TO COMPLETION OF CONSTRUCTION.
  - ALL MUD, DIRT AND DEBRIS TRACKED INTO THE EXISTING ROADWAY AND/OR PARKING AREA FROM THE SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
  - NO ATTEMPT IS MADE TO STIPULATE EVERY REQUIRED ITEM OF DEMOLITION ON THE DRAWINGS. CONTRACTOR SHALL VISIT AND STUDY THE PHYSICAL CONDITION OF THE SITE, REVIEW THE DRAWINGS AND REACH THEIR OWN CONCLUSIONS ON WORK NECESSARY TO ACCOMPLISH INTENDED WORK AS INDICATED ON THE DRAWINGS.
  - CONTRACTORS MANNER AND METHOD OF INGRESS/EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY OF THE PROJECT SITE.
  - NO DEBRIS SHALL BE LEFT ON THE PROJECT SITE. LEGAL DISPOSAL AREAS FOR SUCH SHALL BE LOCATED OFF-SITE AND SECURED BY THE CONTRACTOR.
  - LOCAL REGULATIONS REGARDING HAULING AND DISPOSAL SHALL APPLY. CONTRACTOR SHALL TAKE MEASURES TO PREVENT SPILLAGE ONTO EXISTING PARKING AREAS OR LOCAL STREETS AND BE RESPONSIBLE FOR CLEAN UP IF SPILLAGE OCCURS, AS A RESULT OF THE TRUCKING OPERATIONS.
  - CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO EXISTING ROADWAY, PARKING AREA AND STRUCTURES CAUSED BY DEMOLITION AND HAULING OPERATIONS.
  - ALL BURNING OF TREES, BRUSH AND DEBRIS SHALL BE DONE IN CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES.

**SITE LEGEND**

---	LOT LINE	---	REFERENCE POINT (CONTROL)
---	PROPERTY LINE	▲	BENCHMARK
---	BOUNDARY LINE	+	WATER VALVE
---	TREE LINE	+	WATER METER
---	ROADWAY CENTERLINE	+	FIRE HYDRANT
G	GAS MAIN & SERVICE LINE	+	ELECTRICAL TRANSFORMER
UE	UNDERGROUND ELECTRIC	+	TELEPHONE BOX
W	WATER MAIN & SERVICE LINE		
SA	SANITARY SEWER MAIN & SERVICE		
---	STORM SEWER LINE		
P	OVERHEAD POWER LINE		
E	UNDERGROUND ELECTRIC		
---	PUDE		
---	MBSL		
X	FENCELINE		
---	STREAM LINE		
SF	SILT FENCE		
---	EXISTING CURB		
T	UNDERGROUND TELEPHONE		
W	PROPOSED WATER MAIN (SIZE TBD)		
SA	PROPOSED SANITARY SEWER		
●	PROPOSED IRON PIN		
○	EXISTING IRON PIN		
⊕	STREET LIGHT		
⊕	UTILITY POLE		
⊕	POWER POLE		
⊕	SANITARY SEWER MANHOLE		
⊕	STORM SEWER INLET		

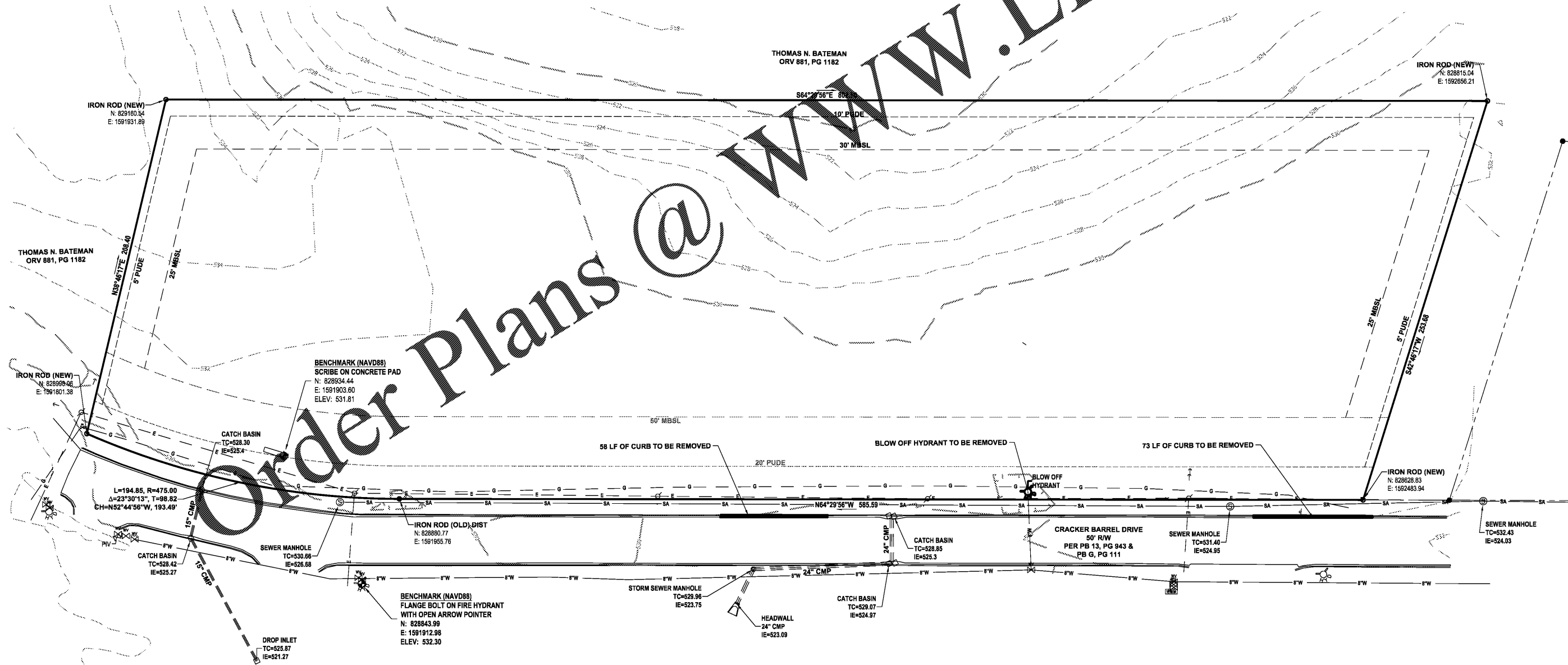
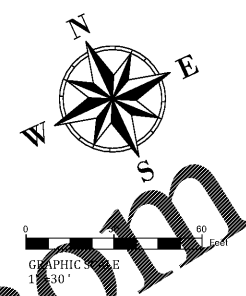
**GENERAL SITE INFORMATION:**

MEHAR GROUP, LLC

CURRENT ZONING: C-4  
 DISTRICT: 2nd  
 DEED REF. #O.R.V. 1797, PG. 1723  
 TAX MAP NO. 33.0 PARCEL NO. 3.01

TOTAL ACREAGE: 189,583 SF (4.35 ± ACRES)

- GENERAL NOTES:**
- All utility locations based on location of utilities by local utility authorities and visible field location by others. There is no guarantee that no other utilities either public or private are not displayed on this survey.
  - All site lighting shall be directed inward with shielded hoods. No light shall spill on adjacent property.



**REVISIONS**

DATE	COMMENTS
12/15/18	CHANGED PARKING LAYOUT
1/07/19	REMOVED ONE 90° BEND, MOVED FIRE HYDRANT, ADDED SIDEWALK ALONG BARREL DRIVE
3/11/19	NEW FLOOR PLAN, ALL UTILITIES EXISTING BUILDING MOVED, CHANGED/ADDED ROOF DRAINS

**HOLIDAY INN**

**EXISTING CONDITIONS & DEMOLITION PLAN**

215 CRACKER BARREL DR., CLARKSVILLE  
 MONTGOMERY COUNTY, TENNESSEE

March 11, 2019

1545 Madison Street  
 Clarksville, TN 37040  
 Ph # 931-245-3095

**MCKAY-BURCHETT & COMPANY ENGINEERS**

DRAWN BY: K.COOK  
 CHECKED BY: C.BURCHETT

**SHEET: C 0.10**