

GENERAL PROJECT INFORMATION		
OWNER: KIPP Metro Atlanta Schools	ARCHITECT: Perkins+Will, Inc.	
CONTACT: Ra'Chel Ford	CONTACT: Barbara Crum	
PHONE: (404) 924-6310	PHONE: (404) 873-2300	
ADDRESS: 504 Fair St SW, Suite 300 Atlanta, GA 30313	ADDRESS: 1315 Peachtree St, NE Atlanta, GA 30309	
EMAIL: *****	EMAIL: barbara.crum@perkinswill.com	

2012 GEORGIA BUILDING CODE		
CODES REFERENCE GUIDE		
Area	Primary	Supplement
Occupancy Classification	LSC	IBC
Building Construction Types	IBC	LSC
Including allowable height, allowable building areas, and the requirements for sprinkler protection related to minimum building construction types.		
Means of Egress	LSC	NONE
Standpipes	IBC	IFC
Interior Finish	LSC	NONE
HVAC Systems	IMC	NONE
Vertical Openings	LSC	NONE
Sprinkler Systems minimum construction standard	LSC	NONE
Fire Alarm Systems	LSC	NONE
Smoke Alarms and Smoke Detection Systems	State Statute and LSC	NONE
Portable Fire Extinguishers	LSC	NONE
Cooking Equipment	LSC and NFPA 96	NONE
Fuel Fired Appliances	IFGC	NFPA 54
Liquid Petroleum Gas	NFPA 58	NFPA 54 or IFGC
Compressed Natural Gas	NFPA 52	NONE

SOURCE: <https://ida.ga.gov/civil-government-assistance/construction-codes-industrialized-building-construction-codes>

PLUMBING FIXTURE REQUIREMENTS											
BUILDING #	FLOOR LEVEL AND AREA	OCCUPANT LOAD	OCCUPANT TYPE	WATER CLOSET				LAVATORY			
				REQUIRED	PROVIDED	WOMEN	PROVIDED	REQUIRED	PROVIDED	WOMEN	PROVIDED
BUILDING 1	LEVEL 01 EDUCATION	1,100	E	11	22	11	21	11	14	11	15
	LEVEL 02 EDUCATION	1,000	E	11	14	11	13	11	8	11	8
	LEVEL 03 EDUCATION	381	E	4	7	4	7	4	4	4	4
TOTAL				26	43	26	41	26	26	26	27
BUILDING 2	LEVEL 01 ASSEMBLY	1,227	A-3	13	13	13	13	13	13	13	13

** REQUIRED FIXTURES ARE LOCATED ON THE STORY ABOVE OR BELOW PER IPC 403.3

BUILDING LIFE SAFETY DATA					
THE PROJECT CONSISTS OF TWO PRIMARY BUILDINGS (CLASSROOM BUILDING + GYMNASIUM). TOTAL EXISTING CONSTRUCTION AREA IS 117,994 SQUARE FEET AND TOTAL NEW CONSTRUCTION AREA IS 10,391 SQUARE FEET.					
BUILDING 1 (CLASSROOM) IS A TYPE IIB EDUCATIONAL GROUP OCCUPANCY BUILDING THAT WILL BE SPRINKLERED. SCOPE OF WORK WILL BE INTERIOR RENOVATIONS AND CAFETERIA ADDITION.					
USE AND OCCUPANCY CLASSIFICATION					
NFPA 101, LIFE SAFETY CODE, 2012 EDITION: CHAPTER 14 NEW EDUCATIONAL OCCUPANCIES					
INTERNATIONAL BUILDING CODE, 2012 EDITION: SECTION 305. EDUCATIONAL GROUP E					
2012 IBC SECTION 503 HEIGHT AND AREA					
BUILDING 1	TYPE IIB	ALLOWABLE	WITH MODIFICATIONS	ACTUAL HEIGHT	AREA
	HEIGHT	55	75	38'	99417
	STORIES	2	3	3	44126
	AREA/FLR	14500	50,720		33664
				LEVEL 01	1535

OCCUPANT LOAD FACTORS INFORMATION	
THE FOLLOWING IS BASED ON NFPA 101 LIFE SAFETY CODE, 2012 EDITION.	
ASSEMBLY WITHOUT FIXED SEATS	18 INCHES
CHAIRS ONLY	7 NET
STANDING SPACE	5 NET
TABLES AND CHAIRS	15 NET
CLASSROOM	20 NET
SHOPS / VOCATIONAL	50 NET
BUSINESS AREA	100 GROSS
LABORATORY	50 NET
LIBRARY - READING AREAS	50 NET
LIBRARY - STACK AREAS	100 GROSS
LOCKER ROOMS	15 GROSS
EXERCISE ROOMS W/O EQUIPMENT	50 GROSS
MERCANTILE	50 GROSS
STORAGE - MECHANICAL	500 GROSS
POOL - INDOOR	50 GROSS
POOL - DECK AREA	50 GROSS

BUILDING LIFE SAFETY DATA					
THE PROJECT CONSISTS OF TWO PRIMARY BUILDINGS (CLASSROOM BUILDING + GYMNASIUM). TOTAL EXISTING CONSTRUCTION AREA IS 117,994 SQUARE FEET AND TOTAL NEW CONSTRUCTION AREA IS 10,391 SQUARE FEET.					
BUILDING 2 (GYMNASIUM) IS A TYPE IA ASSEMBLY GROUP OCCUPANCY BUILDING THAT IS UNSPRINKLERED. SCOPE OF WORK WILL BE INTERIOR RENOVATIONS.					
USE AND OCCUPANCY CLASSIFICATION					
NFPA 101, LIFE SAFETY CODE, 2012 EDITION: CHAPTER 12 NEW ASSEMBLY OCCUPANCIES AND					
INTERNATIONAL BUILDING CODE, 2012 EDITION: SECTION 303 ASSEMBLY GROUP A					
2012 IBC SECTION 503 HEIGHT AND AREA					
BUILDING 2	TYPE IA	ALLOWABLE	WITH MODIFICATIONS	ACTUAL HEIGHT	AREA
	HEIGHT	UL	UL	29'	28968
	STORIES	UL	UL	1	0
	AREA/FLR	UL	UL		0
				LEVEL 01	28968

FIRE RESISTANCE FOR TYPE OF CONSTRUCTION			
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (hours)	BC 2012 Table 601	BC 2012 Table 601	
	TYPE IIB	TYPE IB	
STRUCTURAL FRAME			
COLUMNS - SUPPORTING MORE THAN ONE FLOOR, COLUMN OR OTHER BEARING WALLS	0	2	
SUPPORTING ONE FLOOR ONLY			
SUPPORTING A ROOF ONLY			
BEAMS, GIRDERS, TRUSSES AND ARCHES - SUPPORTING MORE THAN ONE FLOOR, COLUMN OR OTHER BEARING WALLS	0	2	
SUPPORTING ONE FLOOR ONLY			
SUPPORTING A ROOF ONLY			
EXTERIOR BEARING WALLS - SUPPORTING MORE THAN ONE FLOOR, COLUMN OR OTHER BEARING WALLS	0	2	
SUPPORTING ONE FLOOR ONLY			
SUPPORTING A ROOF ONLY			
INTERIOR BEARING WALLS - SUPPORTING MORE THAN ONE FLOOR, COLUMN OR OTHER BEARING WALLS	0	2	
SUPPORTING ONE FLOOR ONLY			
SUPPORTING A ROOF ONLY			
FLOOR CONSTRUCTION	0	2	
ROOF CONSTRUCTION	0	1	
INTERIOR NON-BEARING WALLS	0	0	
EXTERIOR NON-BEARING WALLS	TABLE 602 GROUP A, B, E		
FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (L x H = FM)	X < 5	1	
	5 x 6 < X < 10	1	
	10 x 6 < X < 30	0	
	X > 30	0	

OCCUPANCY SEPARATION, EGRESS AND PROTECTION

THE FOLLOWING IS BASED ON NFPA 101 LIFE SAFETY CODE, 2012 EDITION.

BUSINESS OCCUPANCIES ARE INCIDENTAL TO THE PREDOMINANT EDUCATIONAL OCCUPANCY. NO SEPARATION IS REQUIRED OR PROVIDED (6.1.14).

8.8 COMMUNICATING SPACE UNENCLOSED FLOOR OPENINGS FORMING A COMMUNICATING SPACE BETWEEN FLOOR LEVELS SHALL BE PERMITTED, PROVIDED THAT THE FOLLOWING CONDITIONS ARE MET: THE COMMUNICATING SPACE DOES NOT CONNECT MORE THAN THREE CONTIGUOUS STORES; THE LOWEST OR NEXT-TO LOWEST STORY WITHIN THE COMMUNICATING SPACE IS A STREET FLOOR; THE ENTIRE FLOOR AREA OF THE COMMUNICATING SPACE IS OPEN AND UNRESTRICTED SUCH THAT A FIRE IN ANY PART OF THE SPACE WILL BE READILY OBVIOUS TO THE OCCUPANTS OF THE SPACE PRIOR TO THE TIME IT BECOMES AN OCCUPANT HAZARD.

BUILDING IS PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 9.7.

DEAD END CORRIDORS SHALL NOT EXCEED 50 FEET (14.2.5.2).

COMMON PATH OF TRAVEL SHALL NOT EXCEED 100 FEET (14.2.5.3).

TRAVEL DISTANCE TO AN EXIT SHALL NOT EXCEED 200 FEET (14.2.6 EXCEPTION)

EVERY ROOM OR SPACE LARGER THAN 1000 FT² OR WITH AN OCCUPANT LOAD OF MORE THAN 50 PERSONS SHALL COMPLY WITH THE FOLLOWING (14.2.5.4.1*)

(1) THE ROOM OR SPACE SHALL HAVE A MINIMUM OF TWO EXIT ACCESS DOORS

(2) THE DOORS REQUIRED BY 14.2.5.4.1 (1) SHALL PROVIDE ACCESS TO SEPARATE EXITS

(3) THE DOORS REQUIRED BY 14.2.5.4.1 (1) SHALL BE PERMITTED TO OPEN ONTO A COMMON CORRIDOR, PROVIDED THAT SUCH CORRIDOR LEADS TO SEPARATE EXITS LOCATED IN OPPOSITE DIRECTIONS (14.2.5.4.1)

*CHAPTER 120-3-RULES AND REGULATIONS FOR THE STATE MINIMUM FIRE SAFETY STANDARDS

BOLTER AND FURNACE ROOMS, STORAGE ROOMS DO NOT REQUIRE A 1 HOUR FIRE BARRIER (14.3.2).

PER 14.3.6, CORRIDORS ARE NOT REQUIRED TO BE RATED BUT SHALL FORM SMOKE PARTITIONS IN ACCORDANCE WITH SECTION 8.2.4. LAVATORIES ARE NOT REQUIRED TO BE SEPARATED FROM CORRIDORS.

14.3.7 SUBDIVISION OF BUILDING SPACES

EDUCATIONAL OCCUPANCIES SHALL BE SUBDIVIDED INTO COMPARTMENTS BY SMOKE PARTITIONS HAVING NOT LESS THAN A 1 HOUR FIRE RESISTANCE RATING AND COMPLYING WITH SECTION 8.4 WHERE ONE OR BOTH OF THE FOLLOWING CONDITIONS EXIST:

THE MAXIMUM FLOOR AREA, INCLUDING THE AGGREGATE AREA OF ALL FLOORS HAVING A COMMON ATMOSPHERE, EXCEEDS 30,000 FT² (2800 M²).

7.1.3.2 EXITS

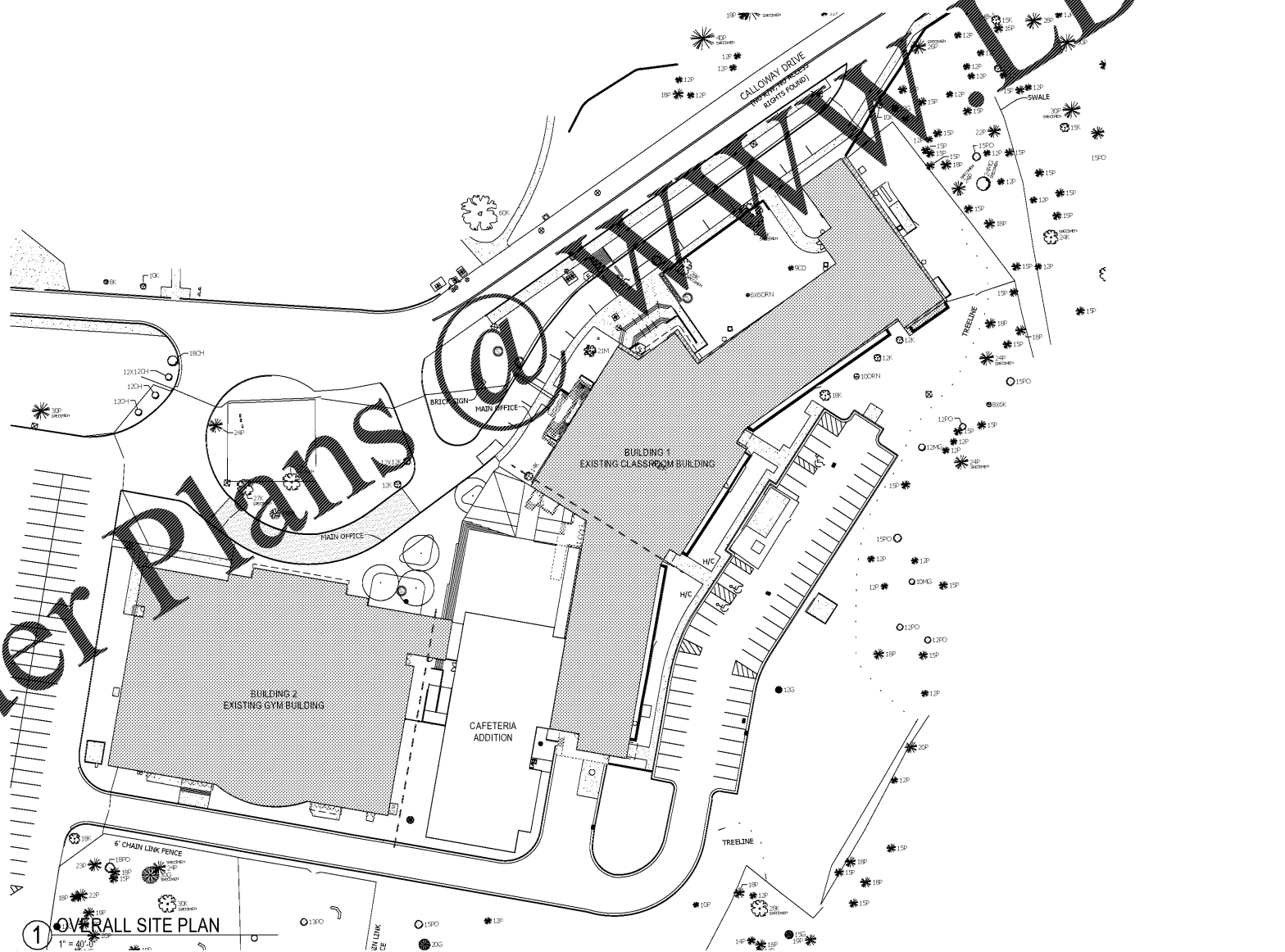
WHERE THIS CODE REQUIRES AN EXIT TO BE SEPARATED FROM OTHER PARTS OF THE BUILDING, THE SEPARATING CONSTRUCTION SHALL MEET THE REQUIREMENTS OF SECTION 8.2 AND THE FOLLOWING:

(A) * THE SEPARATION SHALL HAVE NOT LESS THAN A 1 HOUR FIRE RESISTANCE RATING WHERE THE EXIT CONNECTS THREE STORES OR LESS

(B) * THE SEPARATION SHALL HAVE NOT LESS THAN A 2 HOUR FIRE RESISTANCE RATING WHERE THE EXIT CONNECTS FOUR OR MORE STORES. THE SEPARATION SHALL BE CONSTRUCTED OF AN ASSEMBLY OF NONCOMBUSTIBLE OR LIMITED COMBUSTIBLE MATERIALS AND SHALL BE SUPPORTED BY CONSTRUCTION HAVING NO LESS THAN A 2-HOUR FIRE RESISTANCE RATING.

7.2.1.4.2

DOORS REQUIRED TO BE OF THE SIDE-HINGED OR PIVOTED SWINGING TYPE SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA WITH AN OCCUPANT LOAD OF 50 OR MORE.



Order Plans

PERKINS + WILL

1315 Peachtree St NE
Atlanta, GA 30309
404.873.2300
404.873.2923
www.perkinswill.com

CONSULTANTS

civil: Broadview Land Planning
15 Simpson St NW, Atlanta, GA 30308

structural: Uzun-Cobb
1230 Peachtree St. NE, Suite 2500, Atlanta, GA 30309

MEP: Mashson Dal & Associates
11285 Elkins Rd., Suite F3, Roswell, GA 30076

LANDSCAPING: Perkins+Will
1315 Peachtree St. NE, Atlanta, GA 30309

OWNER: KIPP Metro Atlanta Schools
1465 Maynard Road NW, Atlanta, GA 30331

PROJECT: KIPP ATLANTA COLLEGIATE - Addition and Renovations
98 Anderson Ave NW
Atlanta GA 30314

RELEASED FOR CONSTRUCTION 06/07/2019

KEYPLAN

ISSUE CHART

DATE	REVISION	DATE
07/01/19	Job Number	801660.000
	Drawn	Author
	Checked	Checker
	Approved	Approver

TITLE

CODE COMPLIANCE DATA

SHEET NUMBER

G00-03

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