

3/12/2018 5:57:24 PM P:\COMMERCIAL\2016 PROJECT IN-BOX\2016-139 New Restroom at Durr Field\5 Drawing Info\5 Drawing Info.dwg Revit\16139 Durr Field Restrooms.rvt
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DRAWING ISSUANCE LOG		2016-06-29 SCHEMATIC DESIGN	2016-07-15 IN-HOUSE REVIEW	2016-07-22 100% SET	2018-03-12 ISSUE TYPE II CONSTRUCTION
NUMBER	SHEET NAME				
GENERAL					
G-001	COVER SHEET				
G-002	SHEET INDEX & GENERAL INFORMATION				
STRUCTURAL					
S-101	FOUNDATION PLAN				
S-201	ROOF FRAMING PLAN				
S-210	ROOF TRUSS CG-1 AND CG-2 SECTIONS				
S-211	ROOF TRUSS SECTIONS				
S-212	ROOF FRAMING SECTIONS				
ARCHITECTURE					
A-001	PARTITION TYPES				
A-003	ENLARGED RESTROOM PLAN, STANDARD RESTROOM DETAILS				
ARCHITECTURE					
A-101	FLOOR PLAN				
A-131	REFLECTED CEILING PLAN				
A-151	ROOF PLAN				
A-201	EXTERIOR ELEVATIONS				
A-301	BUILDING SECTIONS				
A-311	WALL SECTIONS, DETAILS				
A-601	FINISH SCHEDULE, DOOR SCHEDULE, ELEV. & DETAILS				
A-602	DOOR & HARDWARE SPECIFICATIONS				
A-731	INTERIOR ELEVATIONS				
A-901	PERSPECTIVES				
PLUMBING					
P-001	PLUMBING GENERAL NOTES, SCHEDULES AND CALCULATIONS				
P-101	PLUMBING PLAN				
MECHANICAL					
M-001	MECHANICAL GENERAL NOTES & LEGEND				
M-101	MECHANICAL PLAN				
ELECTRICAL					
E-001	ELECTRICAL GENERAL NOTES & LEGEND				
E-101	ELECTRICAL PLANS- FIRST FLOOR				
E-501	ELECTRICAL SCHEDULES				
Grand total: 26					

ABBREVIATIONS:

@	AT	INSUL	INSULATION
AVG	AVERAGE	INT	INTERIOR
AUTO	AUTOMATIC	ID	INSIDE DIAMETER
ARCH	ARCHITECT (URAL)	JAN	JANITOR
ANOD	ANODIZED	LAB	LABEL
ALUM	ALUMINUM	LAV	LAVATORY
ALT	ALTERNATE	L	LONG
A/C	AIR CONDITIONING	LLH	LONG LEG HORIZONTAL
ADMIN	ADMINISTRATION	LLV	LONG LEG VERTICAL
ABV	ABOVE	MAX	MAXIMUM
AG	AMERICANS W/ DISABILITIES	NIC	NOT IN CONTRACT
ADJ	ADJUSTABLE	MAINT	MAINTENANCE
ADFF	ADJUST ABOVE FINISH FLOOR	MAT	MATERIAL
AFF	ACOUSTICAL TILE	MCG	METAL CORNER GUARD
BM	BEAM	MECH	MECHANICAL
BRG	BEARING	MEZZ	MEZZANINE
BOT	BOTTOM	MFR	MANUFACTURER
BLDG	BUILDING	MISC	MISCELLANEOUS
CAB	CABINET	MO	MASONRY OPENING
CARP	CARPET	MTD	MOUNTED
CJ	CONTROL JOINT	MTL	METAL
CLG	CEILING	MIN	MINIMUM
CL	CENTER LINE	N/A	NOT APPLICABLE
CLR	CLEAR	NIC	NOT IN CONTRACT
CMU	CONCRETE MASONRY UNIT	NTS	NOT TO SCALE
CNTR	COUNTER	OC	ON CENTER
COL	COLUMN	OD	OUTSIDE DIAMETER
CONST	CONSTRUCTION	OPP	OPPOSITE
CONC	CONCRETE	OS	OVERFLOW SCUPPER
CONT	CONTINUOUS	PREFAB	PREFABRICATED
CW	COMPOSITE WOOD	PL	PLATE
DEM	DEMOLISH, DEMOLITION	PLBG	PLUMBING
DN	DOWN	PLYWD	PLYWOOD
DNBL	DOUBLE	PNL	PANEL
DIFF	DIFFUSER	PRE	PRESSURE TREATED
DIA	DIAMETER	QTY	QUANTITY
DIM	DIMENSION	REFIN	REINFORCE (LACING)
DTL	DETAIL	RAD	RADIUS
DWG	DRAWING	SCP	SELECTED CEILING PLAN
EA	EACH	RFD	ROOF DRAIN
ENCL	ENCLOSE (URE)	REV	REVISED EQUIPMENT
ELEC	ELECTRICAL	RM	ROOM
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	RO	ROUGH OPENING
EP	ELECTRICAL PANEL	RTU	ROOF TOP UNIT
EL, ELEV	ELEVATION	SHT	SHEET
EQ	EQUAL	SPK	SPEAKER
EQUIP	EQUIPMENT	SIM	SIMILAR
EWG	ELECTRICAL WATER COVER	SPEC	SPECIFICATION
EXT	EXTERIOR	SQ	SQUARE
EXIST	EXISTING	SS	STAINLESS STEEL
EXP J	EXPANSION JOINT	STD	STANDARD
FD	FIELD DETERMINE	STRUCT	STRUCTURAL
FFE	FINISHED FLOOR ELEVATION	ST	STEEL TUBE
FFL	FINISHED FLOOR LINE	STL	STEEL
FE	FIRE RESISTING SHEET	STO	STORAGE
FR	FIBERGLASS REINFORCED PANEL	SUSP	SUSPENDED
FT	FLOOR FINISH	TEMP	TEMPERED
FRT	FIRE RESISTANT TREATED	TE	TOP ELEVATION
FLUOR	FLUORESCENT	TEL	TELEPHONE
FG	FOOTING	TV	TELEVISION
GEN	GENERAL	THK	THICK
GAUGE	GAUGE	TBD	TO BE DETERMINED
GLV	GALVANIZED	T & G	TONGUE & GROOVE
GC	GENERAL CONTRACTOR	TOB	TOP OF BEAM
GWB	GYPSUM WALL BOARD	TOS	TOP OF STEEL
HDWR	HARDWARE	TOW	TOP OF WALL
HVAC	HEATING, VENTILATION & AIR CONDITIONING	TYP	TYPICAL
HC	HANDICAP	UNFIN	UNFINISHED
HCB	HANDICAP COUPON BOOTH	UNO	UNLESS NOTED OTHERWISE
HGT	HEIGHT	VAR	VARIES
H	HIGH	VERT	VERTICAL
HIM	HOLLOW METAL	VIF	VERIFY IN FIELD
HORIZ	HORIZONTAL	VCT	VINYL COMPOSITION TILE

GENERAL NOTES:

- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SUPERVISION AND COORDINATION OF ALL CONSTRUCTION PROCEDURES AND ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE APPLICABLE CODES AND ORDINANCES IN EFFECT AT THE TIME OF PERMIT. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
- ALL DIMENSIONS MUST BE NOTIFIED BY ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.
- COORDINATE LOCATIONS AND/OR ELEVATIONS OF FLOOR DRAINS, REGISTERS, GRILLES, LOUVERS, DUCTS, UNIT HEATERS, PANELS, ETC. WITH MECHANICAL AND ELECTRICAL CONTRACTORS AND ARCHITECTURAL DRAWINGS.
- WHERE A DETAIL IS SHOWN FOR A CONDITION, IT SHALL APPLY TO ALL LIKE OR SIMILAR CONDITIONS, EVEN THOUGH NOT SPECIFICALLY MARKED ON THE DRAWINGS.
- CONTRACTOR SHALL MAINTAIN A CLEAN AND DRY CONSTRUCTION ENVIRONMENT IS MAINTAINED IN SUCH A MANNER TO INHIBIT MOLD AND MILDEW GROWTH.
- PROVIDE FINISHED SURFACES UNDER AND BEHIND ALL EQUIPMENT AND CABINETS.
- REMOVE PROMPTLY AND LEGALLY ALL CLUTTER, DEBRIS, PROTECT ALL EXPOSED PORTIONS OF WORK FROM WEATHER. AVOID OVER-LOADING STRUCTURE, AND SECURELY STORE ALL ITEMS TO BE USED FOR CONSTRUCTION.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
- PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- ANY EXISTING UTILITIES TO BE ABANDONED SHALL BE PROPERLY DISCONNECTED, PLUGGED OR CAPPED, AS REQUIRED BY CODE OR SOUND CONSTRUCTION PRACTICE.
- NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT.
- WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- PROVIDE ADEQUATE CONCEALED BLOCKING AND ANCHORING FOR ALL CEILING AND WALL MOUNTED EQUIPMENT, HARDWARE AND ACCESSORIES.
- WHEN A SYSTEM OR ASSEMBLY IS SPECIFIED, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION/SYSTEM SHALL BE INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.
- UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC., SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE.
- COORDINATE WITH ALL TRADES THE LOCATIONS OF SLEEVES OR OTHER PRESET ACCESSORIES INVOLVING OTHER TRADES.
- THESE PLANS SHOULD BE STUDIED AND USED IN THEIR ENTIRETY AS INFORMATION VITAL TO EACH STAGE OF CONSTRUCTION.
- GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR COMPLETION OF ALL WORK SHOWN OR REASONABLY IMPLIED BY THESE DRAWINGS AND/OR SPECIFICATIONS. HE SHALL CONFIRM ALL DIMENSIONS AND CONDITIONS AT THE SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGNER IN WRITING OF ANY DISCREPANCIES.
- ARCHITECT IS NOT RESPONSIBLE FOR EQUIPMENT OR MATERIALS NOT SPECIFIED ON THESE PLANS.
- DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF STUD AT EXTERIOR WALLS AND TO THE FACE OF GWB OF INTERIOR WALLS UNO. BEAMS AND GIRDERS ARE DIMENSIONED TO THE CENTERLINE UNO.
- DIMENSIONS ON FOUNDATION PLANS ARE FROM FACE OF MASONRY UNO.
- DETAILS TAKE PRECEDENCE OVER PLANS & ELEVATIONS - LARGER SCALE DRWGS TAKE PRECEDENCE OVER SMALLER SCALE DRWGS.

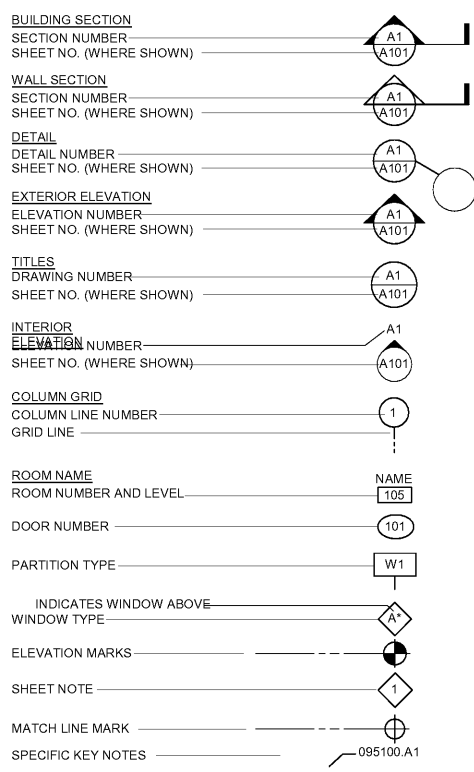
CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITIES:

- THE CONTRACTOR SHALL FURNISH COPIES OF PERMITS, INSPECTIONS, AND CERTIFICATES TO OWNER AS REQUESTED ALONG WITH FIRST APPLICATION FOR PAYMENT.
- THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMIT APPROVALS AND HEALTH DEPARTMENT APPROVALS. CONTRACTOR WILL OBTAIN ALL REQUIRED BUILDING PERMITS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- THE CONTRACTOR SHALL PROVIDE ALL CERTIFICATES OF OCCUPANCY, PERMITS AND CLOSE OUT DOCUMENTS TO OWNER UPON COMPLETION OF PROJECT.
- THE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE BEFORE PROCEEDING WITH CONSTRUCTION - IF THERE ARE ANY QUESTIONS REGARDING THIS OR OTHER COORDINATION QUESTIONS, THAT CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM ARCHITECTS BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK IN SUFFICIENT TIME FOR CROFT & ASSOCIATES, PC TO RENDER A DECISION WITHOUT DELAYING THE PROGRESS OF THE PROJECT.
- THE SUBCONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL & PLUMBING (TO INCLUDE ALL PIPING, DUCTWORK, AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT IS PROVIDED - NOTIFY ARCHITECTS SO THAT ANY CONFLICTS WILL BE MUTUALLY RESOLVED.

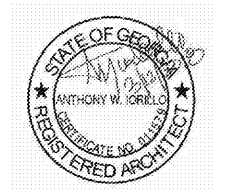
DEFINITIONS:

- "ALIGN" MEANS (I.E.) WHERE A NEW PARTITION IS TO BE BUILT TO ALIGN WITH ONE SIDE OF THE COLUMN, STUDS SHALL ALIGN WITH THE COLUMN OR EXISTING PARTITION SO THAT THE GYPSUM WALL BOARD WILL BE CONTINUOUS ACROSS STUDS AND FINISHED FACE OF COLUMN OR EXISTING PARTITION, AND JOINT SHALL BE SMOOTH AND UNDETECTABLE.
- DIMENSIONS NOTED AS "CLEAR" SHALL BE FROM FINISHED FACE TO FINISHED FACE.
- "TYPICAL" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS, UNO.
- WHEREVER THE TERM "OR EQUAL" IS USED, IT SHALL MEAN EQUAL PRODUCT AS APPROVED BY ARCHITECTS.

LEGENDS & SYMBOLS:



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No.	Date	Description
0	2018-03-12	ISSUED FOR CONSTRUCTION
	2016-07-22	100% Set
B	2016-07-15	IN-HOUSE REVIEW

PROJECT NUMBER
16139
 DRAWN: _____ CHECKED: _____
 LAP _____ AWI _____
 SHEET TITLE
SHEET INDEX & GENERAL INFORMATION
 SHEET NO.

G-002