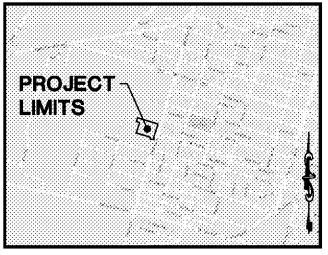


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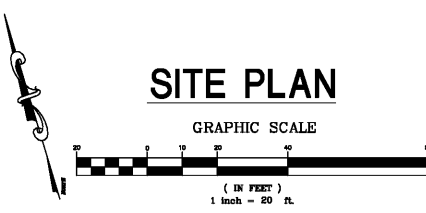
**SITE ANALYSIS**

BEACH HIGH SCHOOL AUDITORIUM	18,893 S.F.
PARKING SPACES TO BE REMOVED	56 SPACES
PARKING SPACES TO BE ADDED	72 SPACES
EXISTING IMPERVIOUS AREA	1.33 ACRES
EXISTING PERVIOUS AREA	0.87 ACRES
PROPOSED IMPERVIOUS AREA	1.07 ACRES
PROPOSED PERVIOUS AREA	1.23 ACRES
IMPERVIOUS AREA REDUCTION	20%

- SITE PLAN NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PARKING, SIDEWALKS, PATIOS, EXIT PORCHES, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  - ALL DIMENSIONS AND RADII ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES' SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - TOTAL LAND AREA IS 22.7041 ACRES. TOTAL PROJECT AREA IS 2.304 ACRES.
  - ALL BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN WAS TAKEN FROM A SURVEY BY EMC ENGINEERING SERVICES, INC., DATED 12/05/18.
  - PORTIONS OF THIS PROPERTY LIE IN A 100-YEAR FLOODPLAIN FLOOD HAZARD, AS DEFINED PURSUANT TO THE FLOOD DISASTER PROTECTION ACT OF 1973, AS AMENDED, AS REFLECTED BY FLOOD INSURANCE RATE MAP PANEL 1305120161G, DATED 8/16/2018.
  - THE CURRENT ZONING OF ALL PROPERTY SHOWN FOR DEVELOPMENT IS "R-8". ADJACENT PROPERTY ZONED AS SHOWN.
  - PRC 2-0554-01-002
  - HANDICAP STRIPING SHALL BE INSTALLED PER THE DETAILS.
  - THE SITE FOR THIS PROJECT WITHIN THE CITY OF SAVANNAH RIGHT-OF-WAY SHALL MEET OR EXCEED COUNTY STANDARDS AND SPECIFICATIONS (LATEST EDITION).
  - ALL SIGN WITHIN THE CITY OF SAVANNAH RIGHT-OF-WAY SHALL BE HIGH INTENSITY REFLECTIVE SHEETING.
  - ALL PAVEMENT MARKINGS WITHIN CITY OF SAVANNAH RIGHT-OF-WAY SHALL BE THERMOPLASTIC.
  - CONTRACTOR SHALL OBTAIN RIGHT-OF-WAY ENCROACHMENT PERMIT FROM CITY OF SAVANNAH PRIOR TO BEGINNING WORK WITHIN THE RIGHT-OF-WAY.

- SITE LEGEND**
- (A) 18" CONCRETE CURB AND GUTTER TYPICAL. SEE DETAIL SHEET.
  - (B) WHEEL STOPS.
  - (C) MATCH EXISTING ALIGNMENT AND GRADE.
  - (D) ADA RAMP. TYPE AS INDICATED ON PLANS, PER GOOD DETAIL A3.
  - (E) ACCESSIBLE PARKING SPACE, TYPICAL. SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL. ("VAN" INDICATES VAN ACCESSIBLE SPACE)
  - (F) PARKING LOT STRIPING, TYPICAL. STRIPING SHALL BE PAINTED 4" SOLID WHITE.
  - (G) HANDICAP PARKING SIGNS, SEE DETAILS.
  - (H) TIE TO EXISTING PAVEMENT.
  - (I) DETECTABLE WARNING STRIP, SEE DETAIL.
  - (J) PERMEABLE CONCRETE, SEE DETAIL D-1.
  - (K) 6" FLUSH HEADER CURB
  - (L) CANOPY, SEE ARCHITECTURAL PLANS FOR DETAILS
  - (M) ENTRY GATE
  - (N) FENCE, SEE ARCH PLANS FOR DETAILS

- SITE PLAN LEGEND**
- [Pattern] DENOTES STANDARD DUTY CONCRETE PAVEMENT SEE DETAIL SHEET D-1
  - [Pattern] DENOTES PERMEABLE PAVERS SEE DETAIL SHEET D-1
  - [Pattern] DENOTES CONCRETE SIDEWALK SEE DETAIL SHEET D-1
  - [Pattern] DENOTES STANDARD DUTY ASPHALT PAVEMENT SEE DETAIL SHEET D-1



JOB NAME: BEACH HIGH SCHOOL AUDITORIUM  
 SHEET NAME: SITE LAYOUT

J. W. ROBINSON & ASSOCIATES, INC.  
 ARCHITECTS • INTERIOR DESIGNERS • URBAN PLANNERS •  
 1020 RALPH DAVID ABERNATHY BLVD., S.W., ATLANTA, GEORGIA 30310  
 PHONE: (404) 753-4129 FAX: (404) 753-4435



JOB NO	201801
DRAWN	DNA
CHECKED	DNB
DATE	SEPT 4, 2018 100% SCHEMATIC DESIGN
DATE	OCT 29, 2018 100% DESIGN DEVELOPMENT
DATE	APRIL 5, 2019 80% CONST. DOCUMENTS
DATE	MAY 17, 2019 100% CONST. DOCUMENTS
SHEET NUMBER	C-1

NOT RELEASED FOR CONSTRUCTION  
 FACILITY CODE: 625-0312