

FLOOR PLAN
Scale: 1/2" = 1'-0"



TENANT INFILL NOTES

1. THE ARCHITECT HAS REVIEWED THE EXISTING CONDITIONS FOUND AT THE FACILITY. HOWEVER, IT REMAINS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION CONSTRUCTION.
2. VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING SPACE PRIOR TO START OF NEW CONSTRUCTION. NOTIFY ARCHITECT OF DISCREPANCIES IMMEDIATELY.
3. ALL DIMENSIONS ARE FROM STUD TO STUD UNLESS NOTED OTHERWISE.
4. WOOD BLOCKING FOR ALL MILLWORK, SHELVING AND MISCELLANEOUS ACCESSORIES AND SPECIALTIES. COORDINATE LOCATION OF ALL SHELVING WITH TENANT AND PROVIDE BLOCKING AS REQUIRED.
5. ALL GYPSUM BOARD AT PLUMBING CHASE PARTITIONS SHALL BE MOISTURE RESISTANT.
6. VERIFY ALL FLOOR, WALL, AND CEILING FINISHES WITH TENANT PRIOR TO INSTALLATION.
7. ALL HARDWARE SHALL CONFORM TO ADA.
8. ALL MASTER KEYING SHALL BE COORDINATED WITH OWNER.
9. FURNISH AND INSTALL SIGNAGE FOR FIRE EXTINGUISHERS, EXITS AND MAXIMUM OCCUPANCY. SEE DETAIL ON SHEET AS.1.
10. HARDWARE MANUFACTURER, STYLE, AND FINISH SHALL BE SELECTED BY OWNER (TYPICAL).
11. FURNISH AND INSTALL CAULK ALL AROUND ALL DOOR FRAMES - BOTH SIDES.
13. ALL DOORS INTO RESTROOMS AND EXIT DOORS TO HAVE AUTOMATIC CLOSERS.
14. FURNISHINGS, DECOR, OFFICE EQUIPMENT AND OTHER INTERIOR DESIGN ITEMS ARE TO BE PROVIDED BY TENANT.
15. THE PHONE SYSTEM, PHONE PANELS, PHONE JACKS AND INTERNET JACKS ARE TO BE PROVIDED BY TENANT AND INSTALLED / COORDINATED BY CONTRACTOR.
16. ALARM / SECURITY SYSTEM, INCLUDING LOW VOLTAGE WIRING, DOOR STRIKES, TRANSFORMER AND BELLS TO BE PROVIDED BY TENANT AND INSTALLED / COORDINATED BY CONTRACTOR.

KEY NOTES: FLOOR PLAN

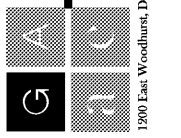
- 1 CORNER GUARD
- 2 SAW CUT EXISTING CONCRETE FLOOR SLAB FOR NEW SANITARY SEWER PLUMBING LINES. FIELD VERIFY EXACT LOCATIONS AND DEPTH OF EXISTING SEWER LINE. SEE SHEET P1.1 FOR LIMITS OF CUTTING.
- 3 TACTILE EXIT SIGN - SEE NOTES ON SHEET A2.2
- 4 1-HOUR DEMISING WALL
- 5 REMOVE EXISTING DRYWALL, RELOCATE EXISTING ELECTRICAL OUTLETS, THERMOSTATS AND DATA OUTLETS AS INDICATED ON ELECTRICAL AND MECHANICAL PLANS. INSTALL ONE LAYER OF 5/8" MOISTURE RESISTANT GYPSUM BOARD OVER EXISTING STUDS FROM FLOOR TO 6" ABOVE NEW ADJACENT CEILING.
- 6 FRP ON WALLS BEHIND MOP SINK, WATER HEATER
- 7 MAXIMUM OCCUPANT LOAD SIGN POSTING OF 16 PEOPLE. SEE NOTES ON SHEET AD.0 AND A2.2.
- 8 JUNCTION BOX & NICHE FOR TRUE REST LIGHTED LOGO. INSTALL U.L. LISTED FIRE-RATED ELECTRICAL BOXES LOCATED IN U.L. U300 AND U400 FIRE-RATED WALL AND PARTITION ASSEMBLIES. APPLY 3M PUTTY PAD ENCASMENT PER MANUFACTURER'S SPECIFICATIONS AND U.L. DESIGN NO. R9700. SEE ALSO NOTE 13 BELOW. SEE ALSO SECTION DETAIL AND ELEVATIONS FOR MORE INFORMATION ON SHEETS A3.1-A3.3.
- 9 MUSIC NICHE. SEE DETAIL 1C/A3.3.
- 10 SUPPLY PLUMBING LINE PENETRATIONS LOCATED IN U.L. U300 AND U400 FIRE-RATED WALL AND PARTITION ASSEMBLIES SHALL BE INSTALLED IN ACCORDANCE WITH U.L. SYSTEM NO. W-L-2128 FOR PEX PIPE (1 1/4" AND SMALLER) OR COPPER (4" AND SMALLER) PER U.L. DESIGN NO. W-L-1290.
- 11 FURNITURE TO BE OWNER SUPPLIED - SHOWN HERE SOLELY FOR REFERENCE.
- 12 TV MOUNTED ON WALL @ 7'-6" A.F.F. FURNISHED AND INSTALLED BY TENANT. CONTRACTOR SHALL PROVIDE SOLID WOOD BLOCKING IN WALL. COORDINATE EXACT LOCATIONS WITH TENANT. INSTALL LEVITON #800 RECESSED OUTLET @ 96" A.F.F. WHERE INDICATED ON PLANS.
- 13 TRUE REST LOGO LIGHT BOX w/ BRUSHED METAL TRUE REST LOGO. LIGHT BOX PROVIDED BY MILLWORK SUB-CONTRACTOR. SEE ALSO NOTE 8 ABOVE FOR INFO. ON JUNCTION BOX & NICHE FOR THIS LIGHT BOX.
- 14 MOP SINK TO HAVE HOT & COLD WATER CONNECTIONS.
- 15 TANKLESS WATER HEATER ABOVE MOP SINK WITH RE-CIRCULATING PUMP SYSTEM. SEE ENGINEERING DRAWINGS FOR DETAILS.
- 16 FIRE EXTINGUISHER CABINET
- 17 RECEPTIONIST DESK SUPPLIED BY OWNER
- 18 TRUE REST LOGO, BRUSHED METAL

PARTITION TYPES

- EXISTING ONE HOUR RATED (U.L. U419) DEMISING WALL - METAL STUD FRAMING WITH GYPSUM BOARD ON EACH SIDE UP TO ROOF DECK TO REMAIN. FINISH AND PAINT PER SCHEDULE.
- EXISTING INTERIOR WALL TO REMAIN. REFINISH AND PAINT PER SCHEDULE.
- 4" x 20 GA. METAL STUD FRAMING @ 16" O.C. WITH 5/8" GYPSUM BOARD ON EACH SIDE. TAPE, SAND, TEXTURE AND PAINT PER FINISH SCHEDULE. EXTEND METAL STUD WALL AND GYPSUM BOARD TO 6" ABOVE ADJACENT CEILING AND DIAGONALLY BRACE @ 45° O.C.

PROVIDE AND INSTALL MIN. R-11 SOUND BATT INSULATION IN ALL WALLS FROM FLOOR TO CEILING AND OVER SUSPENDED CEILING IN POD ROOMS, CORRIDORS AND RESTROOMS.

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Revisions

NO.	DATE	REVISION
1.	04.25.19	OWNER REVIEW COMMENTS
2.	05.07.19	OWNER REVIEW COMMENTS
3.	05.30.19	OWNER REVIEW COMMENTS

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Project Number: 49034
Drawn By: PHM
Reviewed By: JAG
Date: 04.10.19

True Rest Float Spa
2995 Cobb Parkway Southeast
Cobb County, GA 30339

Proposed Floor Plan and Details

CONSTRUCTION DOCUMENTS

Sheet Number
A1.2