

EXISTING MEZZANINE FLOOR PLAN  
w/STRUCTURAL MODIFICATIONS

SCALE: 1/8" = 1'-0"

EXISTING ROOF FRAMING PLAN  
w/STRUCTURAL MODIFICATIONS

SCALE: 1/8" = 1'-0"

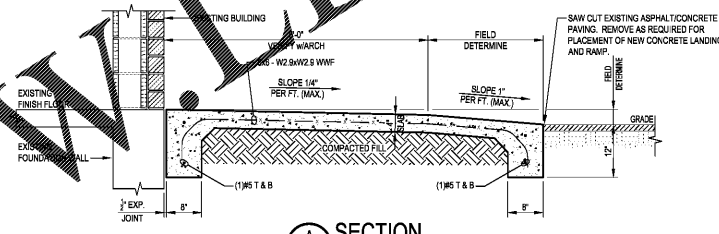


**STRUCTURAL NOTES:**

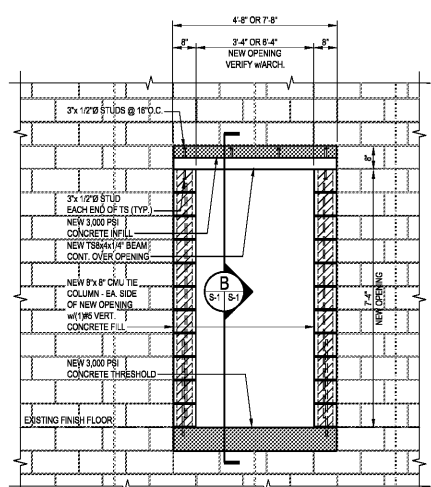
- FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- COORDINATE ALL WORK WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
- PRIOR TO CMU DEMOLITION, THE EXISTING WALL ABOVE THE OPENING SHALL BE SHORED ON EACH SIDE OF WALL. SHORING SYSTEM SHALL BE CAPABLE OF SUPPORTING 1,000 P.L.F. (DEAD LOAD).
- UPON COMPLETION OF DEMOLITION WORK, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL FIELD CONDITIONS. IF NECESSARY, ENGINEER SHALL RE-INSPECT ALL EXISTING STRUCTURAL MEMBERS AND CONNECTIONS PRIOR TO CONTRACTOR MAKING ANY NEW STRUCTURAL MODIFICATIONS.
- CONCRETE SHALL BE 3,000 PSI MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS.
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60.
- EPOXY SHALL BE SIKADUR H MOD 32 OR EQUAL.
- ALL MASONRY WORK SHALL CONFORM TO ACI-530, LATEST EDITION, F<sub>m</sub>=1,500 PSI. USE TYPE S OR M MORTAR.
- ALL STRUCTURAL STEEL SHALL BE ASTM A36, F<sub>y</sub> = 36 ksi (MIN.). TUBE STEEL SHALL BE ASTM A500, 48ksi. CHANNELS TO BE ASTM A992, 50 ksi.
- ALL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH AWS AND SHALL BE PERFORMED BY AWS CERTIFIED WELDERS USING PREQX PRODS.
- ALL WELDS SHALL BE INSPECTED BY AWS CERTIFIED WELDING INSPECTORS.
- CONTRACTOR SHALL SUPPLY ROOF TOP UNIT CURBS OF APPROPRIATE DIMENSIONS AND PROFILE (2'x4'x1/2" MEMBERS) TO ENSURE CURBS ARE FULLY SUPPORTED.
- STRUCTURAL DESIGN LOADS: 2012 INTERNATIONAL BUILDING CODE w/GEORGIA AMENDMENTS  
DL = ACTUAL LOAD  
VL = EXPOSURE 2" V<sub>U1</sub> + 115 psf (FOR BUILDING OCCUPANCY CATEGORY I) WIND FORCE FACTOR (1) W/ ENCLOSED BUILDING, INTERIOR PRESSURE COEFFICIENT (+0.20) (2) W/ UNENCLOSED BUILDING, INTERIOR PRESSURE COEFFICIENT (+0.18) (3) W/ UNENCLOSED BUILDING, INTERIOR PRESSURE COEFFICIENT (+0.18) (4) W/ UNENCLOSED BUILDING, INTERIOR PRESSURE COEFFICIENT (+0.18)  
LL ROOF = 20 psf REDUCED AS ALLOWED BY CODE  
GROUND SNOW LOAD = 5 psf

**STRUCTURAL SCOPE OF WORK:**

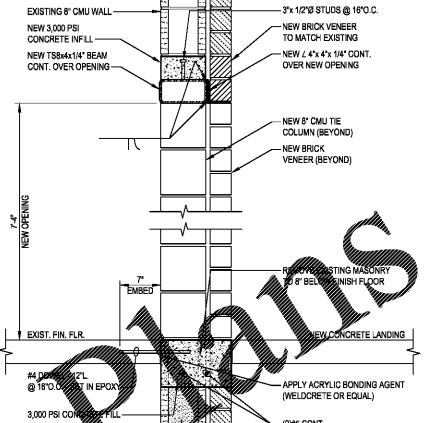
- PROVIDE STRUCTURAL SUPPORT FOR ENLARGED EXISTING DOOR OPENING AT REAR EXTERIOR MASONRY WALL OF SPACE. PROVIDE NEW CONCRETE THRESHOLD OR SAME.
- PROVIDE STRUCTURAL SUPPORT FOR REAR DOOR OPENING IN REAR EXTERIOR MASONRY WALL OF SPACE. PROVIDE NEW CONCRETE THRESHOLD OR SAME.
- PROVIDE NEW CONCRETE LANDINGS AND AT REAR EXTERIOR OF SPACE, (1) TO SERVICE NEW DOOR OPENING AND (2) TO SERVICE EXPANDED EXISTING DOOR OPENING.
- PROVIDE NEW BRICK VENEER MEZZANINE LOUISERS WERE REMOVED DURING DEMOLITION.
- INSTALL NEW ROOF TOP UNITS AT NEW LOCATIONS, ON NEW ROOF CURBS AND ON NEW STRUCTURAL SUPPORTS.
- INSTALL NEW 10" BAR JOISTS UNDER MEZZANINE.



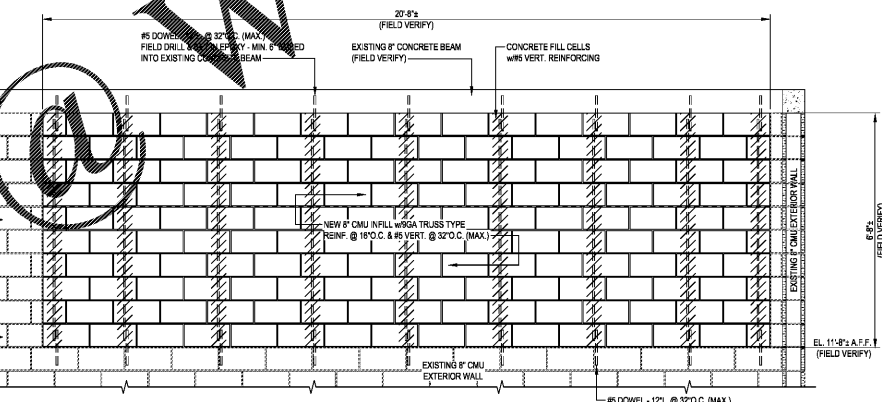
SECTION A  
SCALE: 3/4" = 1'-0"



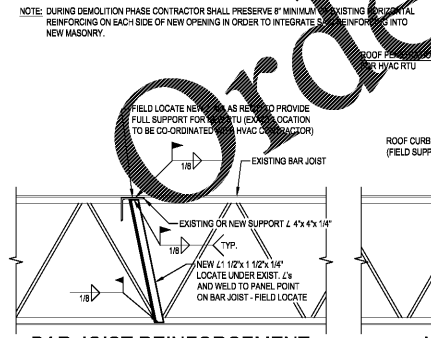
ELEVATION 1  
SCALE: 1/2" = 1'-0"



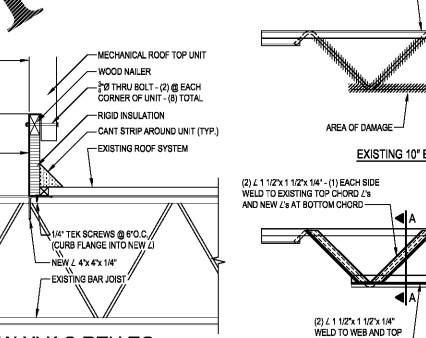
SECTION B  
SCALE: 1" = 1'-0"



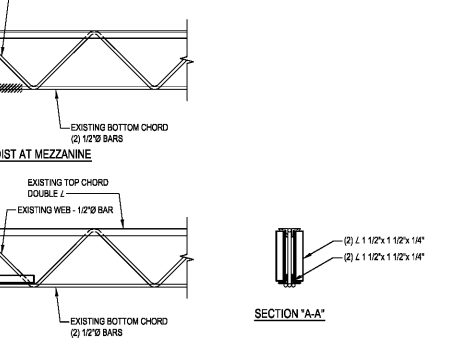
ELEVATION 2  
SCALE: 1/2" = 1'-0"



BAR JOIST REINFORCEMENT AND HVAC SUPPORT (TYP.)  
SCALE: 1" = 1'-0" (AS REQ'D)



NEW HVAC RTU TO NEW ROOF CURB  
SCALE: 1" = 1'-0"



EXISTING 10" BAR JOIST REPAIR  
SCALE: 1" = 1'-0" (AS REQ'D)



SECTION 'A-A'

Order Plans

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description	by	date	mark	revisions

SECTION	DATE	DESIGNED	CHECKED	REVISION

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05-29-2019

**DOLLAR TREES**  
ROCKDALE PLAZA - DEAL # 11733  
CONVERS, GA  
EXISTING FLOOR PLAN  
w/STRUCTURAL MODIFICATIONS

sheet  
**S-1**