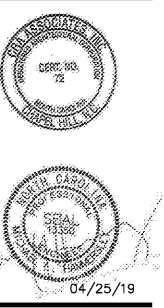


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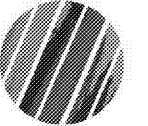
FLOOR AREA PARKING SPACES	PROJECT SUMMARY		TOTAL
	EXISTING	NET INCREASE	
	221076 SF	50260 SF	271336 SF
	438 REGULAR	161 REGULAR	599 REGULAR
	16 BUS	0 BUS	16 BUS
	12 HC ACCESSIBLE	2 HC ACCESSIBLE	14 HC ACCESSIBLE

NEW IMPERVIOUS SURFACE = 86,519 SF

- GENERAL NOTES:
1. TOPOGRAPHY SURVEY INFORMATION PROVIDED BY RILEY SURVEYING, DATED AUGUST 27, 2015.
  2. PRIOR TO BIDDING OR WORK AT THE SITE, THE CONTRACTOR SHALL VISIT THE SITE TO FULLY VERIFY THE EXISTING CONDITIONS.
  3. PRIOR TO START OF WORK CONTRACTOR SHALL MEET WITH OWNER, ARCHITECT, & ENGINEER FOR A PRE-CONSTRUCTION MEETING.
  4. NO WORK SHALL TAKE PLACE ON THE SITE UNTIL THE CONTRACTOR HAS CONTACTED NORTH CAROLINA 811 AND THE TOWN OF HILLSBOROUGH TO LOCATE UTILITIES.
  5. ANY INTERRUPTION OF UTILITY SERVICE SHALL BE APPROVED AT LEAST 48 HOURS PRIOR TO WORK IN THAT AREA.
  6. ANY SIGNIFICANT CHANGES IN ACTUAL SITE CONDITIONS FROM THOSE SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD.
  7. ALL EXISTING WALKS, PAVEMENT, CURB, ETC. WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS.
  8. ALL EXISTING FENCING, PAVEMENT, ETC. THAT IS REMOVED BY THE CONTRACTOR SHALL BE DISPOSED OF PROPERLY.
  9. PROVIDE POSITIVE DRAINAGE AWAY FROM NEW AND EXISTING BUILDINGS.
  10. CONTRACTOR STAGING AREAS SHALL BE RETURNED TO ORIGINAL CONDITION AT THE COMPLETION OF ALL WORK.
  11. RESEED ALL DISTURBED AREAS AT COMPLETION OF ALL WORK.
  12. ADJUST ALL EXISTING & NEW UTILITIES TO BE FLUSH WITH FINISHED GRADES, TYPICAL.
  13. USE PAVEMENT PATCHING DETAIL FOR ALL UTILITY CUTS THROUGH EXISTING ASPHALT.
  14. SAWCUT EXISTING ASPHALT ADJACENT TO PAVEMENT PATCHING.
  15. NO WATERCOURSE OR 100-YEAR FLOOD PLAIN AS MAPPED BY F.E.M.A. OR AS DEFINED BY ANY FEDERAL, STATE, OR LOCAL AUTHORITY IS LOCATED ON THIS PROPERTY.



Cedar Ridge High School  
 Classroom Addition  
 Orange County Schools  
 1125 New Grady Brown School Road  
 Hillsborough, North Carolina



no.	revisions

The use of these plans and specifications shall be restricted to the original project for which they were prepared and publication thereof is hereby prohibited. Any reuse, reproduction, or publication by any means, in whole or in part, is prohibited. Title to the plans and specifications remain in the architect without prejudice. It is the contractor's responsibility to verify the accuracy of these plans and specifications and to coordinate with these plans and specifications with the contractor's field observations of the conditions of the site.

drawn checked

C2.0

sheet  
 OVERALL  
 SITE PLAN

project no. 1716

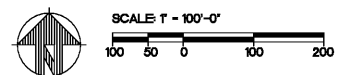
date 04/25/19

**SITE LEGEND**

- CONCRETE SIDEWALK
- PROPOSED PARKING
- PROPOSED BUILDING
- MATCHLINE

**EXISTING CONDITIONS LEGEND**

- BOLLARD
- CURB INLET
- CATCH BASIN
- CLEAN OUT
- FIRE HYDRANT
- LIGHT POLE
- ROOF DRAIN
- SANITARY SEWER MANHOLE
- WATER VALVE
- CHAINLINK FENCE
- SIGN
- FINISHED FLOOR ELEVATION
- HANDICAP ACCESS
- OVERHANG
- ELECTRIC MANHOLE
- ELECTRIC BOX
- TREE LINE
- EXISTING CONTOUR



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CENTER OF SAND  
 SHOWN AS PROMINENT LINE

VERLE C. MANSOUR  
 DS 138/20  
 ZONED R1

INTERSTATE 40  
 VARIABLE WIDTH R/W  
 ZONED M1

ENLARGED SEE SHEET C2.1  
 PARKING LOT AREA

ENLARGED SEE SHEET C2.1  
 BUILDING AREA

PKA DRAWING  
 DS 237/18  
 ZONED R1

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