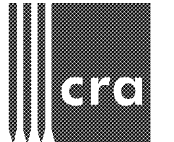


Cedar Ridge High School Classroom Addition

1125 New Grady Brown School Road
Orange County Board of Education
Hillsborough, North Carolina



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919.401.8586
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CRA Associates, Inc.

222 Cloister Court, Chapel Hill, NC 27514 (919) 401-8586

LHC Structural Engineers, Inc.

1331 Sunday Drive, Suite 121, Raleigh, NC 27607 (919) 832-5587

RNM Consulting Engineers, Inc.

94 Main Street, Canton, NC 28716 (828) 492-0677

Structural Engineers

Mechanical & Electrical Engineers

Architects and Civil Engineers



Construction Document Bid Set

April 25, 2019

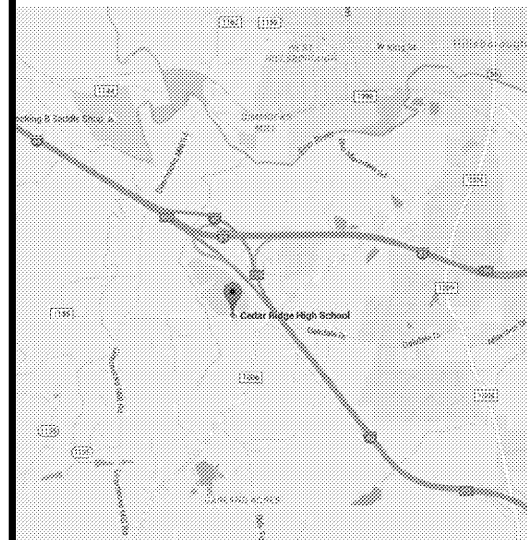
GENERAL NOTES

- THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, ADDENDA, MODIFICATIONS, THE CONDITIONS OF THE CONSTRUCTION CONTRACT, AND SPECIFICATIONS.
- THE WORK WILL CONFORM WITH THE REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION.
- OWNER: ORANGE COUNTY BOARD OF EDUCATION
- "SIMILAR" MEANS COMPATIBLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION.
- "TYPICAL" MEANS IDENTICAL FOR CONDITIONS NOTED.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED OTHERWISE.
- CONTRACTOR TO COORDINATE WORK SCHEDULE WITH OWNER. A PROPOSED STAGING PLAN IS DENOTED ON THE CIVIL DRAWINGS. THE FINAL STAGING PLAN FOR MATERIAL STORAGE AND JOBSITE TRAILER TO BE DETERMINED DURING PRE-CONSTRUCTION MEETING.
- CUT AND FIT COMPONENTS FOR ALTERATIONS OF EXISTING WORK AND INSTALLATION OF NEW WORK. PATCH DISTURBED AREAS TO MATCH ADJACENT MATERIALS AND FINISHES.
- COORDINATE AND PROVIDE BLOCKING/BACKING IN PARTITIONS BEHIND ALL WALL-MOUNTED ITEMS. ALL CONCEALED WOOD TO BE FIRE-TREATED.
- MAKE ALL NECESSARY PROVISIONS FOR ITEMS TO BE FURNISHED OR INSTALLED BY OWNER. PROVIDE PROTECTION FOR THESE PROVISIONS UNTIL COMPLETION OF THE PROJECT. GENERAL CONTRACTOR TO COORDINATE ALL ITEMS WITH APPROPRIATE TRADES.
- GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE/DATA, ELECTRICAL, FIRE PROTECTION AND PLUMBING EQUIPMENT (TO INCLUDE ALL PIPING, DUCTWORK AND CONDUIT) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE OF ABOVE EQUIPMENT ARE PROVIDED. ELEMENTS TO BE EXPOSED OR CONCEALED SHALL BE DETERMINED AND REVIEWED WITH ARCHITECT IN THE FIELD PRIOR TO CONSTRUCTION PROCEEDING.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR AND SHALL PROVIDE PROTECTION OF EXISTING CONSTRUCTION. ANY DAMAGE TO EXISTING AREAS CAUSED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE REPAIRED BY THE GENERAL CONTRACTOR. THE REPAIRS ARE NOT PART OF THIS PROJECT OR CONTRACT AND WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- SAFETY OF ALL PARTIES PRESENT ON THE JOBSITE IS THE CONTRACTOR'S RESPONSIBILITY.
- EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT STRUCTURES AND NEAR OCCUPANTS, PROPERTY, PUBLIC THROUGHFARE, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL OCCUPANTS FROM CONSTRUCTION PROCEDURES.
- FIRE PROTECTION FACILITIES, INCLUDING ACCESS, MUST BE MAINTAINED DURING DEMOLITION AND CONSTRUCTION.
- IN THE EVENT OF CONFLICT ON DRAWINGS AND/OR SPECIFICATIONS, CONTRACTOR SHALL PROVIDE THE MOST COSTLY OPTION IN HIS BID.
- CONTRACTORS SHALL VISIT JOBSITE PRIOR TO CONSTRUCTION IN ORDER TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION, OR A DISCREPANCY OR VARIATIONS BETWEEN DIMENSIONS OR DRAWINGS, AND MEASUREMENT AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE SHALL NOT PROCEED WITH THE AFFECTED WORK UNTIL CLARIFICATION HAS BEEN MADE.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE. DISCREPANCIES TO BE NOTED AND VERIFIED WITH ARCHITECT.
- COORDINATE DEMOLITION OF EXISTING EQUIPMENT WITH MECHANICAL, ELECTRICAL, PLUMBING CONTRACTORS.
- THE CONTRACTOR SHALL SHUT OFF, DISCONNECT AND CAP OR SEAL UTILITIES AFFECTED BEFORE STARTING DEMOLITION WORK. THE NATURE OF UTILITY COMPANIES' POLICIES MAY REQUIRE THAT THE OWNER REQUEST THE UTILITY COMPANY TO SHUT OFF UTILITIES. CONTRACTOR TO INFORM OWNER OF SUCH REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE FOR TEMPORARY UTILITIES AS DEEMED NECESSARY BY THE OWNER IF NORMAL UTILITY SERVICE TO THE FACILITY IS INTERRUPTED.
- DEMOLISHED MATERIALS SHALL BECOME THE CONTRACTOR'S PROPERTY AND SHALL BE REMOVED FROM THE SITE WITH FURTHER DISPOSITION AT THE CONTRACTOR'S OPTION, UNLESS NOTED OTHERWISE IN DIVISION 2 OF THE PROJECT MANUAL.
- DEMOLITION OPERATIONS AND REMOVAL OF DEBRIS SHALL BE CONDUCTED TO INSURE PROTECTION OF EXISTING MATERIALS OR PROPERTY TO REMAIN.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING TO ORIGINAL CONDITION ANY REMAINING MATERIALS OR FIXTURES THAT ARE DAMAGED BY DEMOLITION ACTIVITIES.
- CLEAN-UP OF DEBRIS SHALL BE DONE ON A DAILY BASIS.
- CONTRACTOR TO PATCH/REPAIR/PREP ALL SURFACES AS REQ'D TO ACCEPT NEW FINISH.
- G.C. SHALL BE RESPONSIBLE FOR ANY EQUIPMENT TO BE REMOVED, STORED AND RE-INSTALLED.
- ONLY NEW ITEMS OF RECENT MANUFACTURE, OF BUILDING STANDARD QUALITY, FREE FROM DEFECTS WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND BE REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED ITEMS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.
- THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL WITH SMOOTH, CLEAN, UNIFORM APPEARANCE; WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS OR DISCOLORING. JOINTS SHALL BE CLOSE FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL HAVE NO EXPOSED, UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDS OR UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISIONS FOR EXPANSION, CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING, AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
- ATTACHMENTS, CONNECTIONS, OR FASTENERS ARE TO BE PROPERLY IDENTIFIED, MANUALLY SECURED IN CONFORMANCE WITH MANUFACTURER'S GUIDELINES AND THE NORTH CAROLINA BUILDING CODE. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST CONTRACTORS. THEY DO NOT ILLUSTRATE EVERY SUCH DETAIL.
- NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN THE OPINION OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO PREVENT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION, NOR WILL PRESENCE OF INSPECTOR'S WORK SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN REQUIREMENT GUARANTEES SHALL BE REPAIRED BY WORKING CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FULL, SHALL BE CONSIDERED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- MATERIALS AND FINISHES SPECIFIED BY REFERENCE TO NUMBER, SYMBOL, TITLE OF SPECIFICATION, SUCH AS COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARDS OR OTHER SIMILAR STANDARDS SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THERETO IN EFFECT ON DATE OF ORIGINAL OF THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARDS, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE EFFECTS AS THOUGH PRINTED IN CONTRACT DOCUMENTS.
- CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE.
- CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A SUITABLE SUBSTITUTION.
- IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROGRESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT, OR APPLIANCES ARE INEFFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNER MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OR HIS SURETIES FROM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.
- WITH REFERENCE TO CEILINGS, CONTRACTOR SHALL COORDINATE WITH ALL TRADES INVOLVED TO ENSURE THAT CONFLICTS DO NOT OCCUR BETWEEN LIGHT FIXTURES, DUCTWORK, DIFFUSERS, ETC., AND THAT THE CEILING HEIGHTS INDICATED ON DRAWINGS ARE ACHIEVED. PATCH & REPAIR CEILING FOLLOWING MEP WORK.

SYMBOL LEGEND

	ROOM NAME AND NUMBER		CASEWORK NUMBER
	DOOR AND FRAME NUMBER		MARKERBOARD, PROJECTION SCREEN AND TACKBOARD
	ALUMINUM WINDOW NUMBER (W.T. DENOTES WINDOW TREATMENT)		FIRE EXTINGUISHER CABINET
	COLUMN LINE IDENTIFICATION		1 HOUR FIRE RATED WALL
	ENLARGED PLAN TAG		2 HOUR FIRE RATED WALL
	ELEVATION TAG		EXPANSION JOINT
	SECTION TAG		SPOT ELEVATION (0'-0" = 656'-0")
	INTERIOR ELEVATION TAG		PARTITION TAG
			MINI BLINDS
			MOTORIZED SHADE

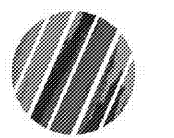
LOCATOR MAP



LIST OF DRAWINGS

A0.0	Cover Sheet	FIRE PROTECTION	
A0.1	Code Information Sheet	FP0.1	Details and Schedules
A0.2	Life Safety Plans	FP1.1	First Floor Fire Protection Plan
		FP1.2	Second Floor Fire Protection Plan
		FP1.3	Platform Level Fire Protection Plan
		PLUMBING	
		PO.1	Plumbing Plans, Notes, and Schedules
		PI.1	First Floor Plumbing Plan
		PI.2	Second Floor Plumbing Plan
		PI.3	Platform Level Plumbing Plan
		MECHANICAL	
		MO.1	Mechanical Schedules
		M1.1	First Floor Mechanical Plan
		M1.2	Second Floor Mechanical Plan
		M1.3	Platform Level Mechanical Plan
		M2.1	First Floor Mechanical Piping Plan
		M2.2	Second Floor Mechanical Piping Plan
		M2.3	Platform Level Mechanical Piping Plan
		M3.1	Existing 16-in Mechanical Piping Plan
		M3.2	Equipment Yard Mechanical Plan
		M4.1	Mechanical Details
		M4.2	Mechanical Details
		M4.3	Mechanical Details
		M4.4	Mechanical Details
		M4.5	U.L. Details
		ELECTRICAL	
		E0.1	Electrical Symbols, Schedules, Notes, and Summaries
		E1.1	Electrical Site Plan
		E2.1	First Floor Electrical Lighting Plan
		E2.2	First Floor Electrical Power and Fire Alarm Plan
		E2.3	First Floor Enlarged Plan, Equipment Yard
		E3.1	Second Floor Electrical Lighting Plan
		E3.2	Second Floor Electrical Power and Fire Alarm Plan
		E4.1	Mechanical Platform Electrical Lighting Plan
		E4.2	Mechanical Platform Elec. Power Resp. Fire Alarm Plan
		E5.1	Electrical Details
		E5.2	Electrical Details
		E5.3	Electrical Details
		E5.4	Electrical Details
		E5.5	Electrical Details
		E6.2	Electrical Panel Schedule
		ARCHITECTURAL	
A1.1	Campus Site Plans		
A2.0	Symbols and Partition Schedule		
A2.1	First Floor Plan		
A2.2	Second Floor Plan		
A2.3	Mechanical Platform Plan		
A2.4	Roof and Cherestry Plans		
A3.1	First Floor Reflected Ceiling Plan		
A3.2	Second Floor Reflected Ceiling Plan		
A4.1	Building Elevations		
A4.2	Building Elevations		
A4.3	Interior Elevations, Learning Commons		
A4.4	Interior Elevations, Learning Commons		
A4.5	Detail Elevations, Learning Commons		
A4.6	Detail Elevations, Learning Commons		
A4.7	Interior Elevations, Learning Commons		
A5.0	Building Sections		
A5.1	Wall Sections		
A5.2	Wall Sections		
A5.3	Wall Sections		
A5.4	Wall Sections		
A5.5	Wall Sections		
A5.6	Sections thru Learning Commons		
A5.7	Sections thru Learning Commons		
A5.8	Interior Wall Sections @ Learning Commons		
A6.0	Roof Details		
A6.1	Plan Details		
A7.1	Enlarged Floor Plans/Sections, Stair J61 & J62		
A7.2	Casework Elevations, Stair & Elevator Details		
A7.3	Enlarged Toilet Room Plans and Details		
A8.0	Door Schedule and Elevations		
A8.1	Door Details		
A9.0	Finish Schedule and Notes		
A9.1	First Floor Finish Plan		
A9.2	Second Floor Finish Plan		

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Classroom Addition
Orange County Schools
1125 New Grady Brown School Road
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no. revisions

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drawn checked
date

Cover Sheet

sheet

A0.0

project no. 1716

date 4/25/19