

Parking Lot: Price as Concrete only - Light duty concrete in parking spaces and heavy duty in all drive lanes

SITE LAYOUT NOTES:

- All dimensions are to outside face of building, to face of curb, or edge of surfacing.
- Refer to architectural plans for actual building dimensions, all utility locations, and other related information.
- Directional arrows and parking spaces striping shall be white. Hand-painted parking spaces shall be blue and symbol shall be white unless local codes indicate otherwise.
- All radii are 3' unless otherwise noted.
- The proposed drives to existing pavement, matching grade to ensure smooth transition.

GENERAL NOTES:

- Boundary and Topographic Survey provided by Gonzalez Strength & Associates, Inc. It shall be the obligation of the Contractor to verify themselves as to the accuracy of the topographic survey and utility locations shown on the grading plan and/or utility plan by personal examination of the site and the existing conditions. If the Contractor disagrees with the topographic survey or the existing utility locations, the Contractor shall notify in writing the Contractor in advance of beginning or if the Contractor accepts the existing topography and utility locations, the Contractor shall be responsible for any errors.
- Contractor shall protect all proposed corners and benchmark. If destroyed during construction, contractor shall replace at his expense.
- Contractor is responsible for any and all damage caused to existing improvements on site or adjacent to the site due to the construction of this project. Contractor shall repair or replace any damaged existing improvements at his expense. Repairs shall be equal to or better than the existing conditions.
- Hand-painted symbols, signs, and ramps shall be installed in accordance with local, state, and ADA regulations. Maximum slope in handicap areas shall not exceed 2% in any direction.
- Contractor shall contact all utilities and locate all utilities within the work area prior to starting construction. Any conflicts shall be reported to the engineer prior to starting construction. Contractor is responsible for fixing any utilities damaged during construction.
- Contractor shall obtain all permits and approvals prior to beginning construction.
- Gonzalez Strength & Associates, Inc., shall not have authority over the Contractor's work and/or responsibilities. Gonzalez Strength & Associates, Inc. is not responsible for methods or procedures of construction selected by the Contractor, or for safety precautions incident to the work of the Contractor, or for any failure of the Contractor to comply with laws, rules, regulations, ordinances, or codes applicable to the Contractor furnishing and performing the work.

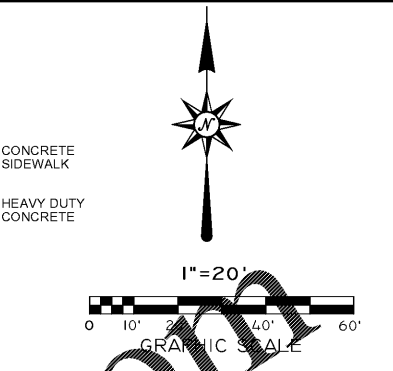
WORK IN RIGHT-OF-WAY NOTES:

- Traffic control devices shall be utilized in accordance with the National Manual on Uniform Traffic Control Devices for Streets and Highways. Devices shall be implemented following the State's Department of Transportation guidelines and requirements.
- All work in right-of-way shall comply with Madison city specifications and requirements.

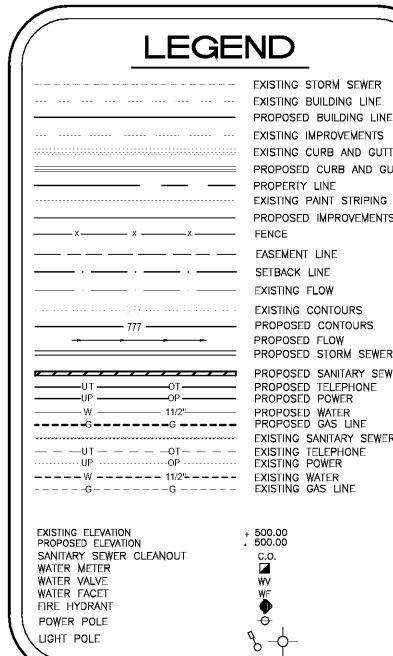
NOTE:

- Setbacks are governed by the latest addition of the Madison Zoning ordinances.
- If adverse conditions are uncovered during construction, the City Engineer may require modification of the plans to the extent necessary to assure compliance with the city's construction specifications manual.

SITE DATA SUMMARY	
ZONING: B-2 GENERAL BUSINESS	DISTRICT:
MAXIMUM HEIGHT 35'	
AREA SUMMARY:	
TOTAL SITE AREA: 43,494 SF	
BUILDING: 1.0 ACRES	GFA: 7,000 SF
16% OF Lot Area	
ASPHALT PAVING: 20,805 SF	
CONCRETE: 736 SF	
GREEN OPEN SPACE AREA: 13,188 SF	
PARKING SUMMARY:	
REQUIRED: 26 SPACES (RATIO: 1/275 SF)	
PROVIDED: 31 SPACES	
SPACE SIZE: 10' X 18'	
BUILDING SETBACKS:	
FRONT (E): 25'	
SIDE (S): 15'	
SIDE (N): 15'	
REAR (W): 20'	
LANDSCAPE REQUIREMENTS:	
5' BUFFER ENTIRE SITE	
VEHICLE PARKING X 18'	
558 S.F. INTERIOR LANDSCAPING	
Proposed Building Construction Type=2B	
Proposed Building Occupancy Type=M	



- SITE LEGEND**
- (A) 4' WHITE PAINTED PARKING STRIPE REQUIRED - TYPICAL.
 - (B) DUMPSTER PAD, COVERED ENCLOSURE AND GATES - SEE ARCHITECTURAL PLANS FOR DETAILS.
 - (C) (2) VAN ACCESSIBLE PARKING SPACE, SIGN, SYMBOL AND ACCESS AISLE - SEE DETAIL - TYPICAL.
 - (D) CONCRETE SIDEWALK REQ'D. REFER TO GRADING PLAN FOR LIMITS OF FLUSH/TURNDOWN SIDEWALK.
 - (E) TRANSFORMER PAD - PER UTILITY CO. SPECIFICATIONS (PROVIDE BID ALTERNATE FOR STANDARD DUTY CONCRETE).
 - (F) DUMPSTER PAD CONCRETE PAVEMENT REQUIRED - TYPICAL - SEE DETAIL.
 - (G) 24" CONCRETE CURB AND GUTTER REQ'D. TYP. - SEE DETAIL.
 - (H) TIE TO EXISTING CURB AND GUTTER, ASSURING A SMOOTH TRANSITION AND POSITIVE DRAINAGE (PROVIDE BID ALTERNATE FOR HEAVY DUTY CONCRETE).
 - (J) STANDARD DUTY CONCRETE PAVEMENT REQ'D. SEE DETAILS.
 - (K) SAWCUT AND REMOVE EXISTING CURB AND GUTTER AND TIE TO EXISTING PAVING, ASSURING A SMOOTH TRANSITION AND POSITIVE DRAINAGE.
 - (L) CONCRETE WHEELSTOP REQ'D. TYPICAL AT ALL PARKING SPACES BUTTING FLUSH SIDEWALK. SEE DETAIL.
 - (M) 6" TURNDOWN SIDEWALK REQ'D. SEE SIDEWALK DETAIL.
 - (N) MONUMENT SIGN REQ'D. COORDINATE FINAL LOCATION WITH OWNER.
 - (O) 4" WIDE WHITE PAINTED STRIPE @ 45° TO TRAFFIC FLOW W/ 4" WHITE PERIMETER STRIPE.
 - (P) STOP BAR AND STOP SIGN REQ'D. SEE DETAIL.
 - (Q) BOLLARD REQ'D. SEE ARCHITECT PLAN FOR ADDITIONAL INFORMATION ON PLACEMENT AND DETAIL.
 - (R) TYPE "A" ADA RAMP REQ'D. SEE DETAIL.
 - (S) 6'-0" WIDE PEDESTRIAN CROSSWALK REQ'D. SEE DETAIL.
 - (T) CONCRETE FLUME - SEE DETAIL REQ'D.
 - (U) EXISTING WALKING TRAIL.
 - (V) 2' WIDE WHITE CHEVRON STRIPES @ 45° TO ONCOMING TRAFFIC WITH 4" WIDE SOLID WHITE PAINT STRIPE PERIMETER REQ'D.
 - (W) TRANSFORMER PAD - PER UTILITY CO. SPECIFICATIONS.
 - (X) RAISED CURBED ISLAND WITH SAFETY GORE AND TYPE N CURB REQ'D. PER ALDOT SPECIAL DRAWINGS # 623-N SPEC AND #623-XV.



NO.	REVISIONS DESCRIPTION	DATE
1	REVISED PER OWNER	3-14-19
2	REVISED TO ADD CONCRETE ISLAND	3-20-19
3	REVISED CONCRETE ISLAND FOR CITY	4-12-19
4	REVISED PER OWNER - BUILDING FOOTPRINT	5-9-19

SITE LAYOUT PLAN

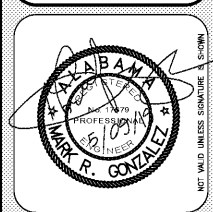
O'REILLY AUTO PARTS
County Line Rd.
Madison, Alabama

AFFILIATED DEVELOPMENT GROUP
Birmingham, AL

DATE: 12-08-18
SCALE: 1"=20'
DRAWN BY: K. Shaber
CHECKED BY: B. Hester

GONZALEZ - STRENGTH & ASSOCIATES, INC.
2176 PARKWAY LAKE DRIVE
HOOPER, ALABAMA 35244
PHONE: (205) 942-2486
FAX: (205) 942-3033
www.Gonzalez-Strength.com

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DWG NO. C1-R4
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