

GRAPHIC SYMBOLS

- DOOR NUMBER refer door schedule
- WINDOW SYMBOL refer window schedule; window type A
- OFFICE**
- ROOM NAME & NUMBER
- SUPPLEMENTAL DRAWING see project manual
- INTERIOR ELEVATION SYMBOL see elevation 01 sheet A1.1
- PARTITION TYPE refer legend; partition number 10
- SHEET NOTE SYMBOL see note 01 of sheet notes
- BUILDING SECTION SYMBOL see section 01 sheet A5.1
- SECTION CUT SYMBOL see section 01 sheet A5.3
- MATCH LINE & SYMBOL see sheet A1.1
- EXTERIOR ELEVATION SYMBOL see elevation 01 sheet A2.1
- DETAIL AREA SYMBOL see detail 01 sheet A7.1
- REVISION TO DRAWING SYMBOL see revision 01 on sheet revision log

ABBREVIATIONS

AB Anchor Bolt	ACC Access	ACI American Concrete Institute	ACJ Acoustical Ceiling Jile	ADD Address	AF Above finished floor	ALT Alternate	ALUM Aluminum	APPROX Approximate	ARCH Architect (ural)	B&B Bagged and Burlapped	B/B Back to Back	BC Base of Curb	BD Board	BLDG Building	BLK Black	BLDG Building	BM Beam	B.M. Benchmark	BT Bottom	BK Bearing	BLK Black	BSMT Basement	BT Bent	BUR Built-up Roof	BW Bottom of Wall	CAB Cabinet	CAL Caliper	CB Catch Basin	C/C Center to Center	CD Core Deck	CF Curb Foot	CHAN Channel	CHN Cast Iron Pipe	CJ Construction or Contraction Joint	CL Center Line	CLG Ceiling	CLS Closet	CLR Clear (ance)	CLC Closure	CMF Corrugated Metal Pipe	CMU Concrete Masonry Unit	CON Concrete	CONC Concrete	CONN Connection	CONST Construction	CONT Continuous or Continue	CONTR Contractor or Contractor	CP Cabinet (ed)	CRS Course (s)	CS Countersink	CT Ceramic Tile	CTR Center	CY Cubic Yard	D Dyer	DB Double	DEM Demolish or Demolition	DET Detail	DH Double Hung	DIA Diameter	DIAG Diagonal	DIM Dimension	DIP Ductile Iron Pipe	DL Dead Load	DR Door	DS Downspout	DWG Drawing	DF Drinking Fountain	EA Each	EF Each Face	EIS Exterior Insulation Finish System	EJ Expansion Joint	ELEV Elevation	ELEC Electrical	EMER Emergency	ENGR Engineer	EOP Edge of Pavement	EQ Edge of slab	EQ Equal	EW Each Way	EWC Electric Water Cooler	EKH Exhaust	EXH Exhaust	EXP Expansion	EXT Exterior	FIO Fulfilled by Others	FD Floor Drain	FE Fire Extinguisher	FEC Fire Extinguisher and Cabinet	FEE Finished Floor Elevation	FEL Finished Floor Line	FHC Fire Hose and Cabinet	F/F Face to Face	FOS Face of Slab	FR Floor	FRG Frame	FT Foundation	F.O. Face of	FVC Face of Brick	FDC Face of Concrete	FDF Face of Finish	FOM Face of Masonry	FOS Face of Slab	FR Frame (ed) (ing)	FRP Fiberglass Reinforced Plastic	FF Footing	GL Glaze/Glue	GA Gauge	GALV Galvanized	GB Grab Bar	GI Galvanized iron	GWB Gypsum Wall Board	GYP Gypsum	HC Hollow Core/Handicap	HDW Hardware	HE Hook	HM Hollow Metal	HORIZ Horizontal	HP High Pressure/High	HT Height	HVAC Heating/Ventilating/Air Conditioning	ID Inside Diameter	IS Invert Elevation	IS Inside Face of Stud	IJ Isolation Joint	IN Inch(es)	INSUL Insulation	JAN Janitor's Closet	JG Joist Girder	JLT Joist	JT Joint	K Thousand	GP 1000 #	KJ Key Joint	KS 1000 # per sq in	LAM Laminated (d)	LF Linear Foot	L Length	LAB Laboratory	LAV Lavatory	LH Left Hand	LV Live Load	LH Long Leg Horizontal	LV Long Leg Vertical	LP Low Point	LTGA Light Gage	LT Light	MAS Masonry	MATL Material	MAX Maximum	MC Misc. Channel	MCJ Masonry Control Joint	MECH Mechanical	MEZZ Mezzanine	MANUF Manufacture (er)	MH Mainline	MIN Minimum	MISC Miscellaneous	MIR Mirror	MO Masonry Opening	MT Mount (ed) (ing)	MU Mullion	NIC Not in Contract	NO Number	NOM Nominal	NTD Noted	NTS Not to Scale	OC On Center (s)	OD Outside Diameter	OFCI Owner Furnished Contractor Installed	OFO Owner Furnished Owner Installed	OIS Outside Face of Stud	OH Overhead	OPG Opening	OPH Opposite Hand	PAR Parallel	P.C. Point of Curvature	PL Property Line, Plot	PLAM Plastic Laminare	P/P Face to Face	PNT Finish (ed)	PNL Panel	PNT Point (ed)	PPS Pounds Per Square Inch	PT Point/Pressure Treated/	PV Pavement (ing)	PVC Polyvinyl Chloride	PVMT Pavement	PWD Plywood	QT Quarry Tile	R Riser	RA Return Air	RAD Radius	RB Rubber Base	RC Reinforced Concrete Pipe	RD Roof Drain	RH Right Hand	REBAR Reinforcement Bar	REF Refrigerator / Reference	REIN Reinforce (d), (ing)	REQD Required	RET Retaining	REV Revision (s), Revised	RFG Roofing	RH Right Hand	RM Room	RF Reinforced Masonry	RO Kough Opening	ROW Right of Way	RTU Roof Top Unit	RS Reversed (ide)	SCW Solid Core Wood	SCH Schedule	SD Storm Drain	SECT Section	SH Sheet, Sheathing	SM Similar	SPEC Specification (s)	SQ Square	SS Sanitary Sewer	ST Stainless Steel	STL Steel	STD Standard	STR Storage	STRUC Structural	SV Shear Vinyl	SV Square Yard	T Tread	T/ Top of	TC Top of Curb	TEL Telephone	T&G Tongue and Groove	THC Thick (ness)	TI Top of Slab	TS Tubular Steel	T/ Top of Roofing	T/ Top of Joist	T/ Top of Wall	TYP Typical	TZ Terazzo	UR Urinal	UNO Unless Noted Otherwise	VAR Varnish	VBR Vinyl Base	VVC Vinyl Composition Tile	VKT Vertical	VIN Vinyl	V-J V-Joint (ed)	VWC Vinyl Wall Covering	W Washer/With/Wide Hange	WB Wood Base	WC Water Closet	WD Wood	WH Wall Hung	WIN Window	WP Work Power	WPC Work Power	WT Wall	WTF Wall	WFF Wall/Fabric	WMM Waterproof Membr	W/W Without
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BUILDING CODE SUMMARY

PROJECT NAME: Burger King - Renovation
 ADDRESS: 3580 Centerville HWY, Snellville, GA 30039
 PROPOSED USE: Existing Fast Food Restaurant
 OWNER/CONTACT: Premier Kings, Inc. - Patrick Sidhu
 REFERENCED CODES / JURISDICTION:
International Building Code, 2012 -with Georgia Amendments (2014)(2015)
International Plumbing Code, 2012 -with Georgia Amendments (2014)(2015)
International Mechanical Code, 2012 -with Georgia Amendments (2014)(2015)
International Fuel Gas Code, 2012 -with Georgia Amendments (2014)(2015)
National Electrical Code, 2017 - with Georgia Amendments

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE	TELEPHONE	ADDRESS
ARCHITECTURAL	JIM HUCKESTEIN	010016	(205) 322-1751	2126 Morris Ave, Birmingham, AL 35203
ELECTRICAL	N/A			
PLUMBING	N/A			
MECHANICAL	N/A			
STRUCTURAL	N/A			
SPRINKLER, PIPE	N/A			
FIRE ALARM	N/A			
FOOD SERVICE	N/A			

BUILDING DATA:

OCCUPANCY: ASSEMBLY - A2 BUSINESS EDUCATIONAL MERCANTILE HAZARDOUS FACTORY-INDUSTRIAL
 INSTITUTIONAL (UNRESTRAINED) INSTITUTIONAL (RESTRAINED) RESIDENTIAL STORAGE

MIXED OCCUPANCY (YES/NO - SEPARATION): NO

CONSTRUCTION TYPE: IA IB IIA IIB IIA IIB IVA IVB V VI

MIXED CONST. (YES/NO): NO TYPE / CONDITION: EXISTING CONSTRUCTION

SPRINKLED (YES/NO): NO - EXISTING

RRE DISTRICT (YES/NO): NO

BUILDING HEIGHT: EXIST. (24'- 7") NUMBER OF FLOORS: ONE (1)

MEZZANINE (YES/NO): NO

HIGH RISE (YES/NO): NO

BUILDING AREA: 4,528 SF EXISTING

AREA INCREASE (YES/NO): NO YES, CODE REF: _____

IF YES, CALCULATIONS: _____

FIRE RESISTANCE PARTITION

INTERIOR BEARING WALLS:	HOURLY	DETAIL # & SHEET #	% WALL OPENING	DESIGN # FOR ASSEMBLIES
NORTH	EXIST	N/A	N/L	N/A
EAST	EXIST	N/A	N/L	N/A
SOUTH	EXIST	N/A	N/L	N/A
WEST	EXIST	N/A	N/L	N/A
FOR NON-BEARING WALLS:				
NORTH	EXIST	N/A	N/L	N/A
EAST	EXIST	N/A	N/L	N/A
WEST	EXIST	N/A	N/L	N/A
SOUTH	EXIST	N/A	N/L	N/A
PARTY/RENEW WALLS:				
EAST	EXIST	N/A	N/L	N/A
WEST	EXIST	N/A	N/L	N/A
SOUTH	EXIST	N/A	N/L	N/A
WEST	EXIST	N/A	N/L	N/A

INTERIOR WALLS

BEARING	REQ'D HOURLY	PENETRATION REQ'D. HR.	DESIGN # FOR ASSEMBLIES	ASSEMBLY CONDITION
BEARING	EXIST	N/A	N/A	N/A
NON-BEARING	EXIST	N/A	N/A	N/A
TENANT SEPARATION	N/A	N/A	N/A	N/A
CIG/FLR ASSEMBLY:	EXIST	N/A		
BEAMS:	EXIST	N/A		
COLUMNS:	EXIST	N/A		
CIG/ROOF ASSEMBLY:	EXIST	N/A		
VERTICAL SHAFTS:	N/A	N/A		
CHASES - PLEAC:	N/A	N/A		
MIXED OCCUPANCY SEPARATION:	N/A	N/A		
TENANT SEPARATION:	N/A	N/A		

EXIT REQUIREMENTS:

MAXIMUM DEAD-END CORRIDOR: 20 FEET
 MAXIMUM TRAVEL DISTANCE TO EXIT: 100 FEET
 TOTAL OCCUPANT LOAD: 113
 TOTAL EXIT WIDTH REQUIREMENT: 22'-6"
 TOTAL EXIT WIDTH PROVIDED: 136' TOTAL CLEAR

PLUMBING REQUIREMENTS:

OCCUPANT LOAD (50%) NO CHANGE IN EXISTING - 50 % MALE = 45 50 % FEMALE = 45

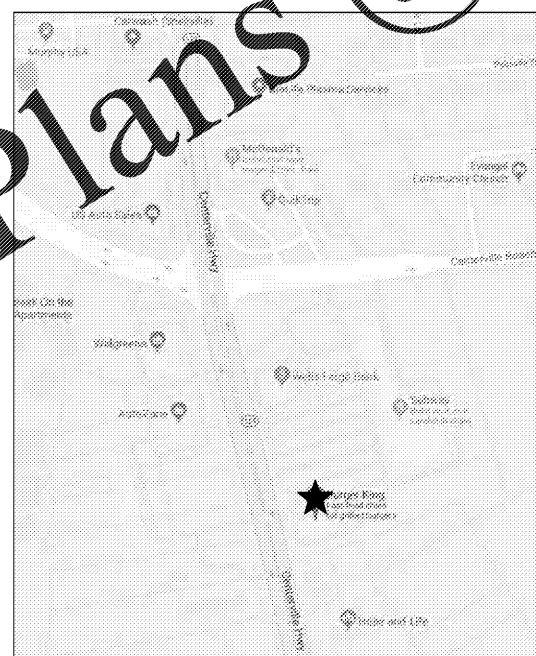
WATERCLOSETS REQUIRED (MEN) 11 PER 75: 45/75 = 0.6 - 1 WATERCLOSETS
 WATERCLOSETS SUPPLIED (MEN) 1 WATERCLOSETS
 URINALS SUPPLIED (MEN) 1 URINALS
 LAVATORIES REQUIRED (MEN) 11 PER 200: 45/200 = 0.23 - 1 LAVATORY
 LAVATORIES PROVIDED (MEN) 1 LAVATORIES

WATERCLOSETS REQUIRED (WOMEN) 11 PER 75: 45/75 = 0.6 - 1 WATERCLOSETS
 WATERCLOSETS SUPPLIED (WOMEN) 2 WATERCLOSETS
 LAVATORIES REQUIRED (WOMEN) 11 PER 200: 45/200 = 0.23 - 1 LAVATORY
 LAVATORIES PROVIDED (WOMEN) 1 LAVATORIES

DRINKING FOUNTAINS REQUIRED 11 PER 500: 89/500 = 0.178 - 1 DRINKING FOUNTAIN
 DRINKING FOUNTAINS SUPPLIED SUPPLIED BY RESTAURANT DRINKING FOUNTAIN DRINK SYSTEM

SERVICE SINK REQUIRED 1
 SERVICE SINK SUPPLIED 1

VICINITY MAP



Order Plans @

MATERIAL SYMBOLS

- BRICK
- CONCRETE
- PRECAST CONCRETE
- EARTH / UNDISTURBED
- STONE
- GLASS (IN ELEVATION)
- EARTH / COMPACTED FILL
- POROUS FILL (STONE OR GRAVEL)
- GRAVEL (LARGE SCALE)
- CONCRETE MASONRY UNIT
- INSULATION (LOOSE BY FIRE RATING)
- CERAMIC TILE (IN ELEVATION)
- WOOD: ROUGH
- INSULATION: RIGID
- WOOD: PLYWOOD
- WOOD: FINISH
- WOOD: LAMINATED TIMBER
- ACOUSTICAL TILE (LARGE SCALE)
- GYPSUM BOARD
- METAL
- ALUMINUM (LARGE SCALE)

CONSTRUCTION NOTES

- DO NOT SCALE DRAWINGS IF DIMENSIONS ARE IN QUESTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY ON THE SITE ALL DIMENSIONS, EQUIPMENT LOCATIONS AND EXISTING CONDITIONS. NOTIFY THE ARCHITECT PROMPTLY, IN WRITING, IN THE EVENT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL PROVIDE CHASES FOR MECHANICAL, PLUMBING, AND ELECTRICAL AS REQUIRED. SEE RESPECTIVE DRAWING SECTIONS.
- FOR ALL RATED AND SMOKE PARTITIONS, THE SURFACE AREA OF AN INDIVIDUAL RECESSED METALLIC OUTLET, SWITCH BOX, ETC. SHALL NOT EXCEED 16 SQUARE INCHES. THE AGGREGATE SURFACE OF THE RECESSED OUTLETS, BOXES, ETC. SHALL NOT EXCEED 100 SQUARE INCHES PER 100 SQUARE FEET OF WALL AREA. BOXES AND FIXTURES THAT EXCEED INCHES OR 16 SQUARE INCHES THE AGGREGATE AREA LIMITATION SHALL BE BACKED WITH 5/8" THICK "X" GYPSUM BOARD TO MAINTAIN THE PARTITION RATING BEHIND THE BOXES OR FIXTURES. RECESSED BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 24 INCHES.
- PIPING LOCATED ABOVE GRADE AND INSIDE THE BUILDING SHALL BE CONCEALED IN FURRED SPACES WITH THE EXCEPTION OF PIPING IN ROOMS WITH EXPOSED CEILING. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO PROVIDE FURRING FOR PIPING INSTALLED IN FINISH AREAS.
- DIMENSIONS SHOWN ON THE FLOOR PLANS ARE TO FACE OF STUD AT INTERIOR STUD WALLS, TO FACE OF FINISH AT EXISTING EXTERIOR WALLS, TO THE CENTERLINE OF COLUMNS AND FACE OF COLUMN FINISH, UNLESS OTHERWISE NOTED. NOTATION ON PLANS TO PROVIDE A "CLEAR" MINIMUM DIMENSION SHALL INCORPORATE THE FINAL FINISH THICKNESS.
- PROVIDE METAL STUD FRAMING AROUND ALL PENETRATIONS THROUGH METAL STUD/GYPSUM BOARD WALLS. PATCH AND SEAL PENETRATIONS IN RATED AND SMOKE WALL IN A MANNER WHICH WOULD MAINTAIN THAT WALL'S RATING.
- THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS ARE INSTALLED IN WALLS AND NON-ACCESSIBLE TYPE CEILING WHERE SERVICE OR ADJUSTMENT TO MECHANICAL PLUMBING OR ELECTRICAL ITEM MAY BE REQUIRED. ACCESS PANELS SHALL BE OF THE FIRE RATED TYPE EQUAL TO THE RATING OF THE WALL OR CEILING IN WHICH THEY OCCUR.
- CAULK AT JUNCTURE OF INTERIOR FACES OF DOOR FRAMES, VIEW WINDOW FRAMES, EXTERIOR WINDOW FRAMES AND CASEWORK WITH ADJACENT MATERIAL EVEN THOUGH JOINT MAY NOT BE VISIBLE.
- SEAL AROUND ALL EXPOSED ROOF PIPING, ETC. TO COORDINATE WITH EXISTING ROOFING SYSTEM.
- REFER TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR THE LOCATIONS OF PIPING, CURBS, VENTS, DUCTS, FANS AND OTHER ITEMS ON THE ROOF SURFACE.
- THE CONTRACTOR IS REQUIRED TO REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS TO NOTE AREAS OF WORK IN THE TRADE ON SHEETS TRADITIONALLY NOTED AS WORK OF OTHER TRADES, I.E. THE REQUIREMENT OF PROVIDING PROTECT TO MECHANICAL OR OTHER EQUIPMENT SHOWN ELSEWHERE IN THE CONTRACT DOCUMENTS AND NOT ON THE ELECTRICAL DRAWINGS. THE ARCHITECT WILL COORDINATE THE DESIGN WORK ON THESE ITEMS.
- THE CONTRACTOR SHALL MAINTAIN SAFE METHODS OF EGRESS AND CIRCULATION DURING CONSTRUCTION.
- PROVIDE 2X6" P.T. WOOD BLOCKING IN THE WALLS FOR DOOR BUMPERS, STOPS, SHELVEING, WALL MOUNTED HARDWARE HANDRAILS, CASEWORK, TOILET ACCESSORIES AND OTHER WALL MOUNTED ITEMS INCLUDING SPECIFIED EQUIPMENT NOTED AS N.I.C.
- WATER CLOSETS SHALL BE MOUNTED SO THAT THERE IS A MINIMUM OF 1'-6" BETWEEN THE FACE OF ADJACENT SIDE WALL AND THE CENTERLINE OF THE WATER CLOSET.
- PAINT SURFACES OF HOLLOW METAL DOORS AND FRAMES IN A COLOR AS INDICATED ON THE SCHEDULES, OR IF NOT INDICATED, AS DIRECTED BY THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN THE APPROPRIATE RATINGS WHERE THERE IS RECESSED WALL MOUNTED EQUIPMENT.
- PATCH AND SEAL PENETRATIONS IN FIRE AND SMOKE WALLS IN A MANNER WHICH WILL MAINTAIN THE WALLS FIRE RATING. FIRE SEAL METHOD USED MUST BE A TESTED UL (UNDERWRITER'S LABORATORIES) PENETRATION ASSEMBLY.

DATE: 09/25/2018
 CHECKED BY: MPW, BH
 REGION: _____
 DRAWN BY: M.J.MRW
 DATE: _____
 NO. _____
 OF _____
 SHEET NO. _____
 OF _____
 PROJECT NO. _____
 OF _____

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James M. Bucksten
 architect AIA

architecture • planning • interior design

STATE OF GEORGIA
 REGISTERED ARCHITECT
 JAMES M. BUCKSTEN
 09.25.18

PROJECT # 1702021
 IMACE 20/09 - JULY 2012 STANDARDS
 BURGER KING
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 SNELLVILLE, GA 30039

CODE INFORMATION