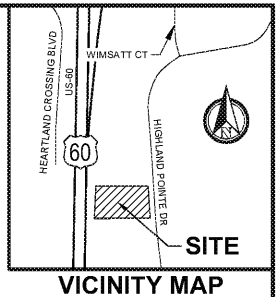
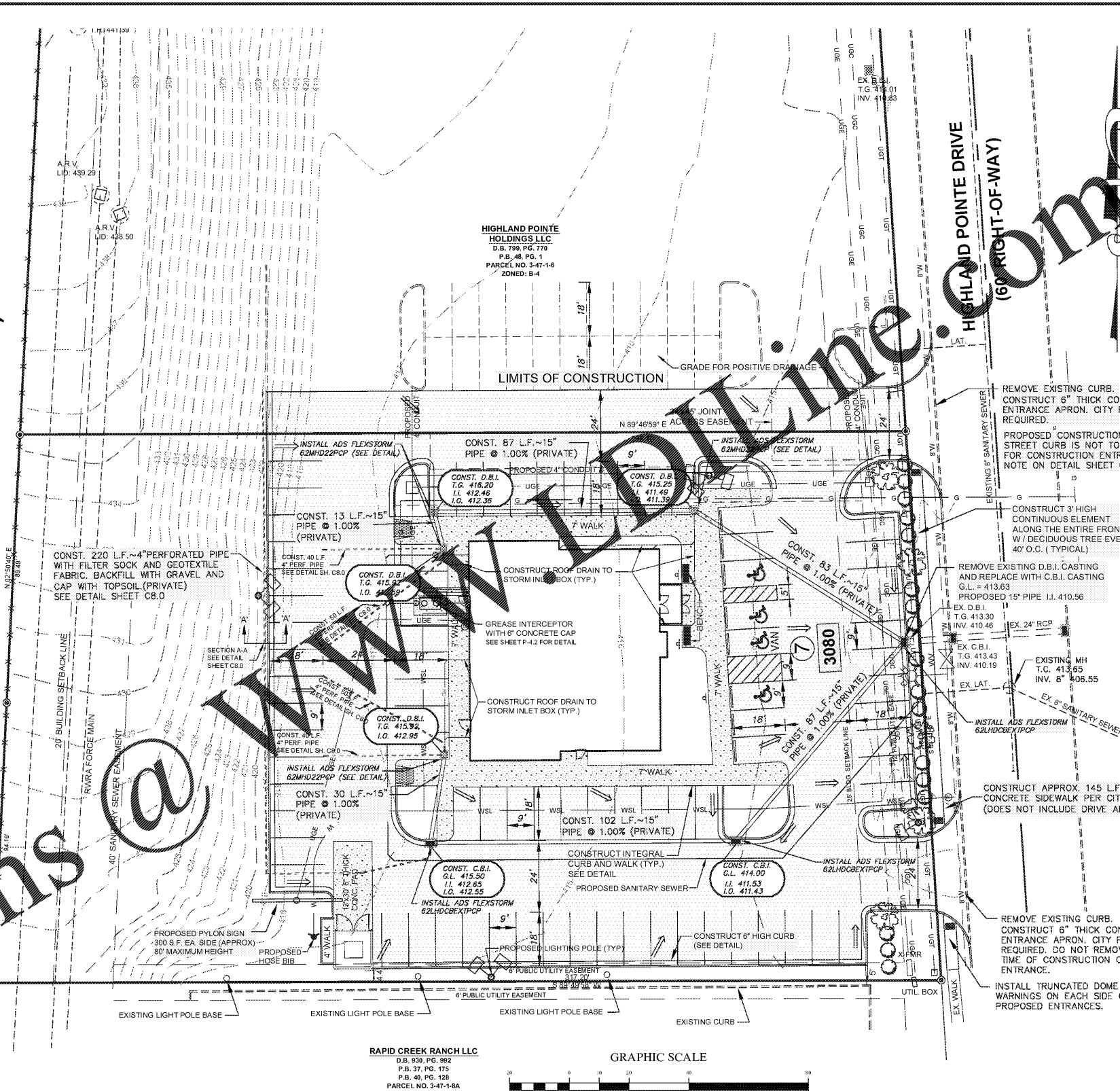


GENERAL NOTES:

- ALL PUBLIC IMPROVEMENTS MUST BE ACCORDING TO THE OWENSBORO METROPOLITAN PUBLIC IMPROVEMENT SPECIFICATIONS (THE PUBLIC IMPROVEMENT SPECIFICATIONS) PI SPECS CAN BE FOUND AT www.ompc.org.
- CONTRACTOR SHALL NOTIFY THE CITY ENGINEER'S OFFICE PRIOR TO BEGINNING ANY CONSTRUCTION PHASES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL APPROPRIATE PERMITS FROM THE KENTUCKY DIVISION OF WATER AND/OR ARMY CORPS OF ENGINEERS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL APPROPRIATE PERMITS FROM ALL THE GOVERNING AGENCIES THAT HAVE JURISDICTION OVER THE AREA WHERE THE WORK IS PROPOSED TO BE DONE.
- A CUT AND FILL PERMIT IS REQUIRED WHEN CUTTING OR FILLING IS PROPOSED TO BE PERFORMED IN THE PROPOSED DEVELOPMENT, AND IS THE CONTRACTOR'S RESPONSIBILITY.
- A STREET CUT PERMIT IS REQUIRED FOR ALL WORK INSIDE THE RIGHT-OF-WAY OF THE CITY OF OWENSBORO. THE CONTRACTOR SHALL CALL THE CITY ENGINEERING OFFICE AT (270) 687-8641.
- PRIOR TO MOBILIZATION, ALL SILT FENCE SHALL BE INSTALLED.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR REMOVING DIRT AND CONSTRUCTION DEBRIS CAUSED BY CONSTRUCTION ACTIVITIES FROM THE CITY'S STREETS FOR THE DURATION OF THE PROJECT.
- ALL POTENTIAL EROSION SHALL BE CONTROLLED IN SUCH A MANNER SO AS TO PREVENT ANY DISPLACEMENT OF SILT TO THE ADJACENT PROPERTY OWNERS OR RIGHT-OF-WAY. THIS CONTROL SHALL BE IMPLEMENTED THROUGH PROPER INSTALLATION OF SILT FENCE DURING THE CONSTRUCTION DURATION AND MAINTAINED UNTIL PROPER GROUND COVER HAS BEEN ESTABLISHED.
- TOPSOIL STOCKPILES AND BORROW SITES SHALL BE SURROUNDED BY SILT FENCES, RESEEDED, AND PLACED WHERE SOIL EROSION WOULD NOT FLOW INTO WATERWAYS OR ADJACENT PROPERTIES.
- NO SOLIDS, INCLUDING BUILDING MATERIALS, SHALL BE ALLOWED TO DISCHARGE INTO WATERS OF THE COMMONWEALTH.
- THE EROSION CONTROL PLAN IS PREPARED AS A GUIDE FOR INITIAL EROSION CONTROL MEASURES TO BE INSTALLED AT THE JOB SITE. IF EROSION OCCURS IN OTHER SPECIFIC AREAS OF THE PROPERTY DURING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING SILT FENCE OR OTHER EROSION CONTROL MEASURES AS NEEDED TO PREVENT EROSION AND/OR CONTROL SEDIMENTATION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROPER INSTALLATION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENTATION CONTROL STRUCTURES. SILT FENCE, ETC. SHALL BE INSPECTED REGULARLY AND SHALL BE REPAIRED, CLEANED, AND/OR REINSTALLED AS NECESSARY TO MEET THE INTENT OF THIS PLAN AND THE CITY OF OWENSBORO REGULATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE REMOVAL OF EROSION PREVENTION AND SEDIMENTATION CONTROL STRUCTURES AFTER CONSTRUCTION IS COMPLETE, BUT ONLY AFTER PROPER GROUND COVER HAS BEEN ESTABLISHED.
- THE GENERAL CONTRACTOR SHALL INSURE THAT ALL SUBCONTRACTORS ARE FAMILIAR WITH THE EROSION CONTROL MEASURES ON SITE AND THAT EACH SUBCONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE THEY CAUSE TO ANY EROSION CONTROL STRUCTURE AND SHALL REPORT SAME TO THE GENERAL CONTRACTOR IMMEDIATELY.
- IF SITE IS 1 ACRE OR LARGER IT WILL BE NECESSARY FOR THE CONTRACTOR TO APPLY FOR A N.O.I. (NOTICE OF INTENT) FROM THE DIVISION OF WATER [CONTACT AT (270) 824-7529]; THE CONTRACTOR IS TO SUBMIT A COPY OF THE N.O.I. TO THE CITY ENGINEER'S OFFICE FOR A RECORD COPY.
- SUBMIT A COPY OF THE N.O.I. (NOTICE OF TERMINATION) TO THE CITY ENGINEER'S OFFICE FOR A RECORD COPY.
- A STORM WATER POLLUTANT PROTECTION PLAN (SWPPP) SHALL BE DEVELOPED FOR THIS SITE AND SUBMITTED TO THE CITY OF OWENSBORO ENGINEERING DEPARTMENT FOR A RECORD COPY. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- A KY10 PERMIT IS REQUIRED FOR THIS SITE. INSPECTIONS MUST BE PERFORMED AND FORMS KEPT ON SITE FOR EPA, DOW, & CITY OF OWENSBORO REVIEW. THIS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- EROSION CONTROL IS REQUIRED AS EACH LOT DEVELOPS.
- SILT FENCES ARE TO BE CLEANED OUT WHEN THEY BECOME ONE THIRD FULL. AFTER EVERY RAIN IN EXCESS OF ONE HALF INCH. ALL EROSION CONTROL MEASURES ARE TO BE INSPECTED AND CLEANED OR REPAIRED AS NECESSARY BY THE CONTRACTOR.
- ALL DISTURBED AREAS THAT REMAIN INACTIVE FOR MORE THAN 21 DAYS SHALL BE STABILIZED BY SEEDING, SOODING, MULCHING, COVERING, OR BY OTHER EQUIVALENT EROSION CONTROL MEASURES AS SOON AS PRACTICABLE, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- 6" THICK CONCRETE DRIVE APRONS FOR ALL NEW DRIVE ENTRANCES.
- ALL CONSTRUCTION IN THE RIGHT-OF-WAY WHETHER NEW, MODIFIED, OR IMPROVED SHALL HAVE A STREET CUT PERMIT BEFORE STARTING CONSTRUCTION AND INSPECTION PERFORMED BEFORE AND DURING CONSTRUCTION. THE CONTRACTOR SHALL CALL THE CITY ENGINEER'S OFFICE FOR PERMIT AND INSPECTION (270) 687-8641.
- TIE IN NEW DRIVE ENTRANCES WITH THE EXISTING WALK TO ALLOW FOR ADA ACCESS ACCORDING TO THE MOST CURRENT ADA STANDARDS.
- ALL RAMPS, SIDEWALKS AND APRONS SHALL BE COMPLIANT WITH THE MOST CURRENT DEPARTMENT OF JUSTICE ADA REQUIREMENTS (ADA STANDARDS FOR ACCESSIBLE DESIGN, CODE OF FEDERAL REGULATIONS, CURRENT EDITION).
- CURB AT THE ENTRANCES TO BE CLOSED SHALL BE REMOVED AND REPLACED TO MATCH AND TIE INTO THE EXISTING CURBS.
- PUBLIC SIDEWALKS SHALL BE SITUATED A MINIMUM OF 8 TO 10 FEET FROM ANY HEADWALL OR DROP-OFF.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE SIDEWALKS, CURBS, GUTTERS, AND/OR DRIVEWAY ENTRANCE APRONS DAMAGED DURING CONSTRUCTION OF THEIR PROJECT.
- EXISTING ROADWAYS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO A CONDITION THAT IS EQUAL TO OR EXCEEDS CURRENT CONDITIONS BY THE CONTRACTOR.
- NO BUILDING ENCROACHMENTS WILL BE ALLOWED UPON DEDICATED EASEMENTS SHOWN ON PLAN SET.
- IF THE DEVELOPMENT REQUIRES A DUMPSTER, THEN THE DUMPSTER PAD AND ENCLOSURE, IF ANY, MUST BE SHOWN ON THE PLANS AND IT MUST MEET ALL OF THE CITY OF OWENSBORO'S APPROACH, ENCLOSURE, AND OVERHEAD SPECIFICATIONS. SIGN-OFF FROM THE SANITATION DIRECTOR IS ALSO REQUIRED BEFORE FINAL PLAN APPROVAL CAN BE DONE.
- ALL STORM SEWER STRUCTURES OR FACILITIES MUST BE COMPLIANT TO THE OWENSBORO STORM WATER MASTER PLAN BY GUEST ENGINEERS APPROVED IN 1999.
- DISCHARGE FROM ALL SITE DOWNSPOUTS SHALL BE DIRECTED TO STORM SEWERS, SWALES, AND/OR SHEET FLOW ROUTED TO THE DETENTION BASIN.
- THE PROPERTY OWNER IS RESPONSIBLE FOR SURFACE AND SUB-SURFACE DRAINAGE RELATED TO HISHER LANDS, AND SHALL PROVIDE FOR SUCH DRAINAGE IN A WAY AS TO PROPERLY RELIEVE WATERS FROM THEIR LAND, WITHOUT OBSTRUCTING EXISTING DRAINAGE PATTERNS OR INCREASING RUNOFF ONTO ADJACENT PROPERTIES.
- THE CONTRACTOR WILL MAINTAIN ON A ROUTINE BASIS ALL SILT CHECKS AND EROSION CONTROL ITEMS UNTIL PERMANENT GROUND COVER IS ESTABLISHED AT SITE, OR THE DEVELOPMENT IS 75% COMPLETE, WHICHEVER COMES LATER.
- ALL STORMWATER TREATMENT PRACTICES SHALL HAVE AN OPERATION AND MAINTENANCE AGREEMENT TO ENSURE THE SYSTEM FUNCTIONS AS DESIGNED.
- A LEGALLY BINDING COVENANT SPECIFYING THE PARTIES RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL STORM WATER TREATMENT PRACTICES SHALL BE SECURED AND RECORDED INTO THE LAND RECORD PRIOR TO ISSUANCE OF ANY PERMIT AND DISTURBANCE ACTIVITIES.
- MAINTENANCE REPORTS SHALL BE SUBMITTED TO THE CITY ENGINEER'S OFFICE ANNUALLY, AND THE STORMWATER BMPs SHALL BE INSPECTED ROUTINELY AS OUTLINED IN CHAPTER 14 OF THE OWENSBORO METROPOLITAN PUBLIC IMPROVEMENT SPECIFICATIONS.
- THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA OR FLOODWAY PER F.I.R.M. NO. 21100-039 D, EFFECTIVE APRIL 16, 2009.
- THE UNITED STATES POSTAL SERVICE REQUIRES CLUSTER BOX UNITS (CBUs) FOR MAIL DELIVERY IN COMMERCIAL AND RESIDENTIAL DEVELOPMENTS. PLEASE CONTACT THE LOCAL POST OFFICE FOR PLACEMENT REQUIREMENTS AND APPROVAL OF CBUs PRIOR TO INSTALLATION.
- CITY CONSTRUCTION INSPECTORS SHALL BE PRESENT AND APPROVE ALL CONNECTIONS WITHIN THE PROPOSED PRIVATE STORM TO EXISTING PUBLIC STORM SYSTEM.
- SITE SHALL HAVE ONLY ONE CONSTRUCTION ENTRANCE. CURB AT PROPOSED PERMANENT ENTRANCE NOT BEING UTILIZED FOR CONSTRUCTION SHALL NOT BE REMOVED UNTIL TIME FOR CONSTRUCTION OF THE ENTIRE PERMANENT ENTRANCE.
- THE DEVELOPER'S ENGINEER MUST VERIFY THAT THE DETAIL BAsE BUILT ACCORDING TO THE APPROVED PLAN. THIS SHALL BE CERTIFIED BY A LICENSED PROFESSIONAL ENGINEER, OR A LICENSED LAND SURVEYOR.

WENDELL FORD EXPRESSWAY (US-60)
(RIGHT-OF-WAY VARIES)



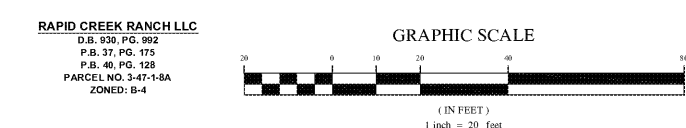
- LEGEND**
- ⊙ EX. SEWER MANHOLE
 - EX. CURB
 - EX. FIRE HYDRANT
 - ⊕ EX. WATER VALVE
 - EX. 8" WATER LINE
 - ⊠ EX. STORM INLET
 - EX. UNDERGROUND ELECTRIC LINE
 - EX. UNDERGROUND CABLE TV LINE
 - ⊠ EX. TELEPHONE PEDESTAL
 - EX. UNDERGROUND TELEPHONE LINE
 - EX. FENCE
 - EX. PUBLIC UTILITY EASEMENT
 - EX. EACH SIDE OF LINE
 - BUILDING SETBACK LINE
 - SHEET FLOW DIRECTION
 - ⊕ PROP. SEWER CLEANOUT
 - ⊕ PROP. SEWER LATERAL
 - ⊕ PROP. TREE / LANDSCAPING
 - PROP. WATERLINE
 - PROP. WATER SERVICE LINE
 - ⊕ CURB BOX INLET PER O.M.P.C. PI SPECS, EXHIBIT 7-5
 - ⊕ DROP BOX INLET
 - PROP. GAS LINE
 - BC 414.35 BACK OF CURB ELEV.
 - PV 414.90 PAVEMENT ELEV.
 - TC 415.60 TOP OF CONCRETE ELEV.
 - ⊕ DETECTABLE WARNING SURFACE PER CURRENT ADA REQUIREMENTS
 - ⊕ QUALIFYING INTERIOR LANDSCAPING WITHIN VEHICULAR USE AREA
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE

U S H P L L C
D.B. 860, PG. 498
P.B. 38, PG. 30
PARCEL NO. 3-47-1-8E
ZONED: B-4

SITE STATISTICS:

ZONING CLASSIFICATION:	B-4
ACREAGE:	1.293 ACRES
TOTAL BUILDING AREA:	4,600 S.F.
3' HIGH PERIMETER LANDSCAPING:	136 L.F.
REQUIRED PERIMETER TREES:	5
PROPOSED PERIMETER TREES:	5
VEHICULAR USE AREA:	28,050 S.F.
REQUIRED PARKING*	23 SPACES
PROPOSED PARKING:	81 SPACES
REQUIRED ADA PARKING:	4 SPACES
PROPOSED ADA PARKING:	4 SPACES
REQUIRED PARKING BASED ON 1 SPACE / 200 S.F.	

LANDSCAPING NOTE:
LANDSCAPING SHOWN ON THIS PLAN SHEET IS BASED ON REQUIREMENTS OUTLINED IN THE ZONING ORDINANCE. LANDSCAPING IS SHOWN SCHEMATICALLY ON THIS SHEET. CONTRACTOR SHALL REFER TO SHEETS L1.0.L1.1 & L2.0 FOR DETAILED PLANTING SPECIFICATIONS.



RAPID CREEK RANCH LLC
D.B. 936, PG. 992
P.B. 37, PG. 175
P.B. 40, PG. 128
PARCEL NO. 3-47-1-8A
ZONED: B-4

APPROVED BY
City of Owensboro
ENGINEERING DEPT
Signature: *[Signature]*
Date: 5-2-2019

OWENSBORO CITY SANITATION APPROVAL
Signature: *[Signature]* 4-25-19
Date: 4-25-19

OMPC SITE PLAN APPROVAL
Signature: *[Signature]* 4/19
Date: 4/19

OWNER/DEVELOPER
RIVER ROAD RESTAURANT, LLC
417 MAIN STREET
NATCHEZ, MS 39120

REVISIONS			
NO.	DATE	DESCRIPTION	BY

SITE PLAN

IHOP
3080 HIGHLAND POINTE DRIVE

DATE: 04-06-2019
SCALE: 1"=20'
JOB NO.: 19-5953
SHEET
C2.0

