

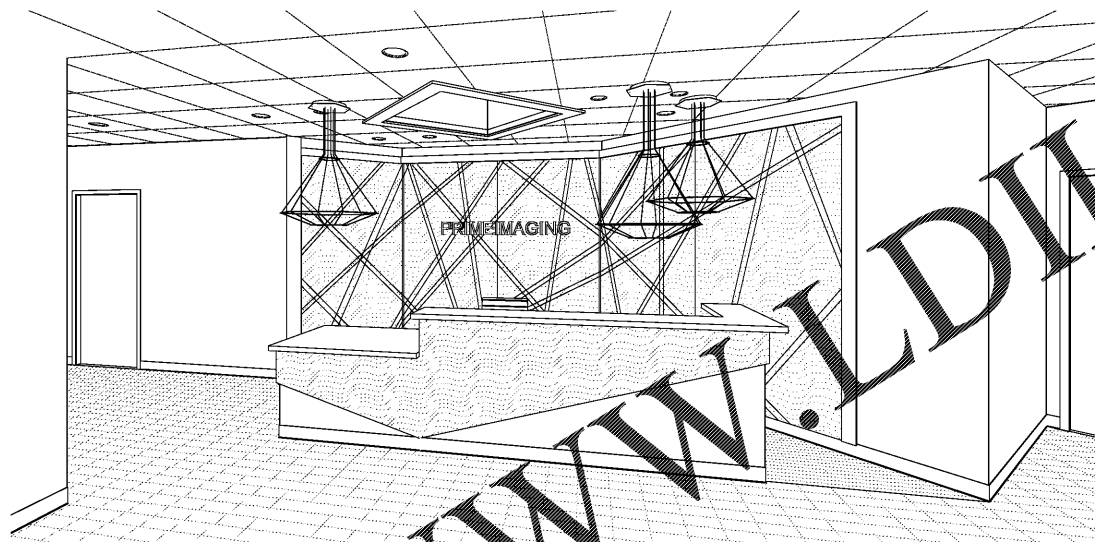
RENOVATION OF EXISTING OFFICES

+

CT/PET PROJECT



CHATTANOOGA OUTPATIENT CENTER



SHEET LIST - COVER			
SHEET NO.	SHEET NAME	ISSUE#	Current Revision Date
A0.0	COVER SHEET		
A0.1	GENERAL SPECIFICATIONS		
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A1.01	OVERALL FLOOR PLAN		
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M2.01	M&M SCHEDULES & DETAILS		
E1.01	LIGHTING PLAN		
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E2.03	EXISTING ELECTRICAL ROOM POWER PLAN		
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P1.01	PLUMBING PLAN		
P2.01	PLUMBING SCHEDULES & DETAILS		



EXPIRATION DATE:
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RENOVATION + PET/CT PROJECT
PRIMEIMAGING
 CHATTANOOGA OUTPATIENT CENTER
 1301 MCCALLIE AVE, CHATTANOOGA TN 37404

Revision Schedule
 Release Date: 05.03.2019
 Project No.: 19010
 COVER SHEET
A0.0

CODE SUMMARY

PROJECT INFORMATION:

NAME OF PROJECT: RENOVATION OF EXISTING FACILITY + PET/CT PROJECT
 CHATTANOOGA OUTPATIENT CENTER
 ADDRESS: 1301 MCCALLIE AVE, CHATTANOOGA TN 37404
 PROPOSED USE: BUSINESS (b)
 CONTACT PERSON: BECKY RATCHFORD
 ADMINISTRATOR- PRIME IMAGING
 423-693-7226

GOVERNING CODES: International Building Code, 2012 edition;
 National Electrical Code, 2011 edition;
 International Fire Code, 2012 edition;
 International Mechanical Code, 2012 edition;
 International Fuel Gas Code, 2012 edition;
 International Plumbing Code, 2012 edition;
 International Energy Conservation Code, 2009 edition;
 Accessible and Usable Buildings and Facilities (ANSIICC A117.1), 2009 edition;

Where code analysis conflicts, more strict requirement shall be applied.

CODE ENFORCEMENT JURISDICTION: Chattanooga, Tennessee IBC 2012

	LICENSED ARCH. / ENG.	LICENSE #	TELEPHONE #
ARCHITECTURAL:	RIVER STREET ARCHITECTURE	TERRY W. BARKER	RA 10482 423.634.0806
MECHANICAL:	SMITH ENGINEERING	MIKE SMITH	PE 10725 423.499.9532
ELECTRICAL:	SMITH ENGINEERING	MIKE SMITH	PE 10725 423.499.9532
PLUMBING:	SMITH ENGINEERING	MIKE SMITH	PE 10725 423.499.9532

BUILDING DATA:

PRIMARY OCCUPANCY TYPE: BUSINESS(b)
 SUB CLASSIFICATION: N/A
 MIXED/SEPARATED OCCUPANCY TYPE: N/A

CONSTRUCTION TYPE: TYPE II-B
 SPRINKLERED: NO
 FIRE DISTRICT: NO

BUILDING HEIGHT DESIGNED: 14'-0"
 NUMBER OF STORIES: 1
 MEZZANINE: NO
 HIGH RISE: NO

GROSS BUILDING AREA:

TOTAL RENOVATION AREA: 3,217 SF (TOTAL RENOVATION)
 AREA OF CT/PET RELOCATION PROJECT: 1,343 SF (SPECIFIC FOR CERTIFICATE OF NEED)
 TOTAL BUILDING AREA: 14,570 SQ.FT.

FIRE RESISTANCE RATINGS:

FIRE RESISTANCE RATINGS OF ELEMENTS & OCCUPANCY SEPERATION RATINGS:

STRUCTURAL FRAME: 0 HR
 (COLUMNS, GIRDERS, TRUSSES)
 BEARING WALLS (EXTERIOR): 2 HR
 BEARING WALLS (INTERIOR): 0 HR
 NON-BEARING WALLS (EXTERIOR): 0 HR
 (PER TABLE 602: >30' SEPERATION)

FIRE RESISTANCE RATINGS OF SEPERATION ELEMENTS:

CORRIDOR SEPERATION (1018.1): 1 HR

NON-BEARING WALLS (INTERIOR): 0 HR
 FLOOR CONSTRUCTION: 0 HR
 ROOF CONSTRUCTION: 0 HR

LIFE SAFETY SYSTEMS & OCCUPANCY

EMERGENCY LIGHTING AND EXIT SIGNS: YES
 FIRE ALARM AND SMOKE DETECTOR SYSTEMS: YES
 PANIC HARDWARE: NO

EXIT REQUIREMENTS:

DEAD END LIMIT - MAXIMUM CONDITION ALLOWED: 20'-0"
 TRAVEL DISTANCE TO EXIT - MAXIMUM CONDITION ALLOWED: 200'-0"
 COMMON PATH OF TRAVEL: 75'-0"

FLOOR LOCATION:	CLASS OCCUPANCY	CALCULATION	OCCUPANCY LOAD
FIRST FLR:	BUSINESS	2,428 GROSS SF / 100 GROSS = 24 OCCUPANTS	

TOTAL OCCUPANCY: 24 OCCUPANTS
 TOTAL EXITS REQUIRED: 2 TOTAL EXITS PROVIDED: 2

EXIT WIDTH REQUIREMENTS:
 DOORS TO BE .2" PER OCC (32 X .2" = 4.8")

EXIT WIDTH PROVIDED: 36" EXIT DISCHARGE PER DOOR.

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