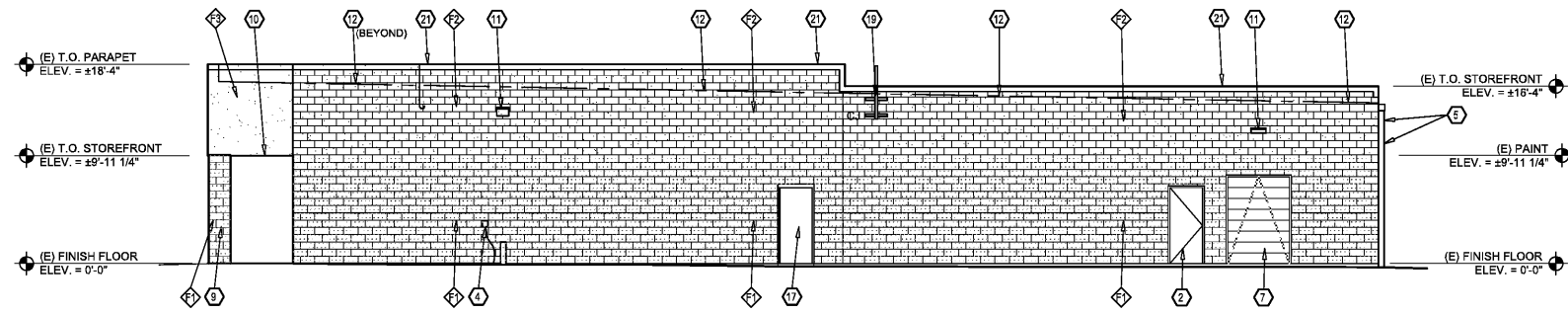


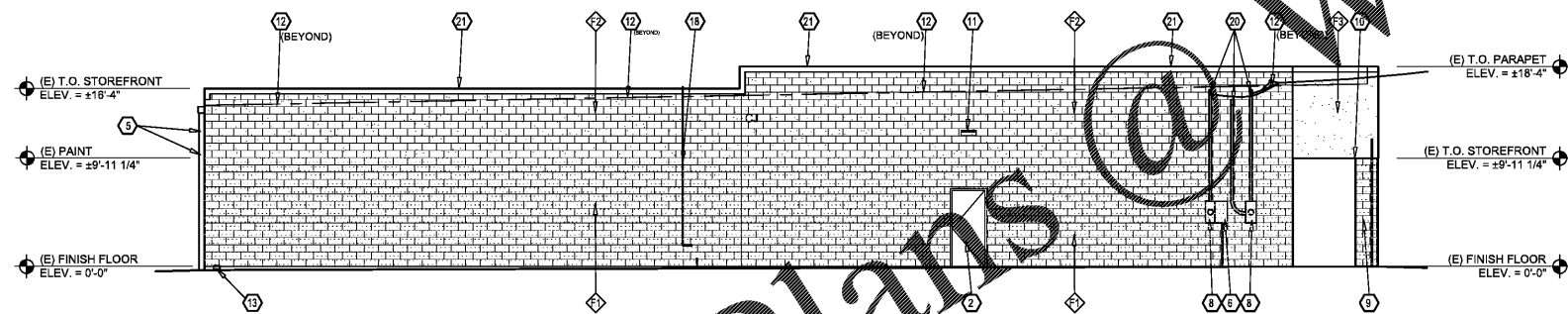
1 FRONT EXTERIOR ELEVATION

A2.1 SCALE: 1/8" = 1'-0"



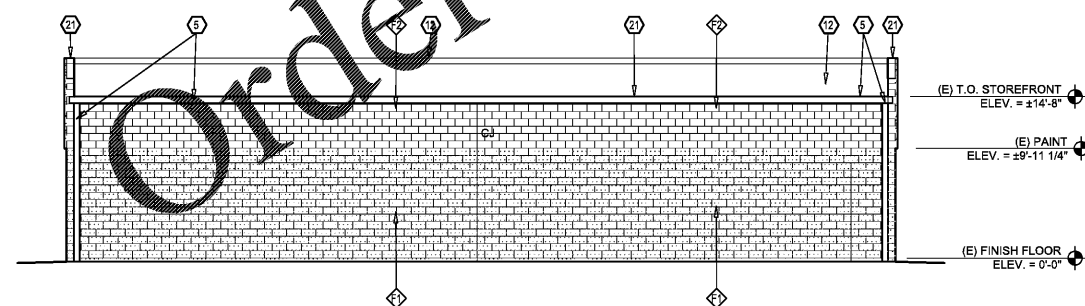
2 RIGHT EXTERIOR ELEVATION

A2.1 SCALE: 1/8" = 1'-0"



3 LEFT EXTERIOR ELEVATION

A2.1 SCALE: 1/8" = 1'-0"



4 REAR EXTERIOR ELEVATION

A2.1 SCALE: 1/8" = 1'-0"

KEY NOTES

- 1 ENTRY VESTIBULE: MODIFY EXISTING STOREFRONT AND INSTALL NEW ENTRY VESTIBULE.
- 2 NEW DOOR: NEW DOOR. PROVIDE NEW HEADER. REFER TO DOOR SCHEDULE.
- 3 (NOT USED)
- 4 EXISTING TELEPHONE/DATA BOX: EXISTING TO REMAIN.
- 5 NEW GUTTERS & DOWNSPOUTS: REPLACE EXISTING GUTTERS AND DOWNSPOUTS WITH NEW. INSTALL GUTTERS AT SLOPE TO ALLOW PROPER DRAINAGE.
- 6 EXISTING ELECTRICAL BOX: SEE MEP.
- 7 OVERHEAD DOOR: NEW OVERHEAD DOOR. MODIFY OPENING AS NEEDED FOR NEW DOOR. SEE DOOR SCHEDULE.
- 8 EXISTING ELECTRICAL METER: SEE MEP.
- 9 EXISTING EXTERIOR COLUMN: EXISTING TO REMAIN.
- 10 UNDERMOUNT LIGHTS: REPLACE EXISTING WITH NEW LED FIXTURES. SEE MEP.
- 11 WALL SACK FIXTURES: REPLACE EXISTING WITH NEW LED FIXTURES.
- 12 EXISTING ROOF: EXISTING TO REMAIN.
- 13 EXISTING ELECTRICAL OUTLET: EXISTING TO REMAIN. NO CHANGE.
- 14 NEW SIGN: 63/31-L APPROXIMATE OUTLINE OF SURFACE MOUNTED SIGN, OWNER FURNISHED AND INSTALLED. PROVIDE BACKING FOR MOUNTING AND ROUGH-IN ELECTRICAL. COORDINATE REQUIREMENTS WITH OWNER. REFER TO SIGN DRAWINGS FOR ADDITIONAL INFORMATION.
- 15 ADDRESS NUMBER: 6" HIGH VINYL NUMBERS BY G.C. TO BE WHITE.
- 16 EXISTING STOREFRONT: EXISTING TO REMAIN. PATCH AND REPAIR AS NEEDED.
- 17 EXISTING MAN DOOR: EXISTING TO REMAIN. REMOVE HARDWARE AND SEAL DOOR.
- 18 EXISTING PIPE: EXISTING TO REMAIN. NO CHANGE.
- 19 EXISTING VENT PIPE: EXISTING TO REMAIN. NO CHANGE.
- 20 EXISTING CONDUIT AND WEATHERHEAD: EXISTING TO REMAIN.
- 21 ROOF COPING: EXISTING TO BE REPLACED WITH NEW. SEE DETAILS.

NOTE:
CONTRACTOR TO PERFORM THE FOLLOWING WATER DAMAGE REMEDIATION AT EXISTING CMU WALLS:
- SEAL ALL EXISTING HOLES, PENETRATIONS AND ATTACHMENTS.
- TUCK-POINT ALL MASONRY JOINTS.
- POWER WASH AND CLEAN EXTERIOR SURFACE PRIOR TO APPLICATION OF NEW FINISH.
- APPLY WATERPROOFING COATING EQUAL TO SHERWIN WILLIAMS LOXON XP AT ALL CMU WALLS.
- INSTALL PAINTED ON WATER PROOFING PER MFG'S RECOMMENDATIONS.

NOTE:
CONTRACTOR TO REPAIR EFIS:
- REMOVE ALL AREAS WITH WATER AND MOLD DAMAGE, PLUS 2'-0" IN ALL DIRECTIONS; PROVIDE MOLD REMEDIATION IN ADDITION.
- CLEAN AND TREAT ALL AREAS WITH WATER DAMAGE PRIOR TO APPLICATION OF NEW FINISH.

GENERAL NOTES

- A REFER TO PLUMBING, MECHANICAL, AND ELECTRICAL DRAWINGS FOR SYSTEM TYPES AND ADDITIONAL REQUIREMENTS.
- B REFER TO EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES.
- C EXISTING MASONRY: PREP AND PRIME WALLS AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS FOR PAINT. TUCK-POINT WEATHERED MASONRY JOINTS. NEW MORTAR JOINTS TO MATCH EXISTING JOINTS IN GOOD ORDER.
- D EXISTING CONDITIONS BASED UPON OBSERVATIONS. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- E EXISTING CONSTRUCTION TO BE REWORKED AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION. FIELD VERIFY SCOPE OF WORK REQUIRED.
- F CONTRACTOR TO CHECK WITH LANDLORD. BUILDING TO BE SECURABLE AFTER BUSINESS HOURS DURING CONSTRUCTION.
- G CONTRACTOR TO MAINTAIN CLEAR UNOBSTRUCTED PATHS OF EGRESS AND EXITS AT ALL TIMES BUILDING IS OCCUPIED DURING CONSTRUCTION. PROVIDE TEMPORARY EMERGENCY LIGHTING, EXIT SIGNS AND FIRE EXTINGUISHING SYSTEMS AS REQUIRED.
- H EXISTING CONSTRUCTION TO REMAIN TO BE PROTECTED AS REQUIRED. REMOVE AND REPLACE DAMAGED CONSTRUCTION DUE TO CONTRACTOR'S ACTIVITIES.
- I PROVIDE TEMPORARY SHORING OR BRACING OF EXISTING STRUCTURAL SYSTEM AS REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION.
- J PROVIDE TEMPORARY DUST PROTECTION AS REQUIRED.
- K ALL SALVAGE TO CONTRACTOR UNLESS OTHERWISE NOTED.
- L WHEN NECESSARY TO INTERRUPT UTILITY SERVICES, PROVIDE A MINIMUM OF 48 HOURS ADVANCE NOTICE TO THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.
- M IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

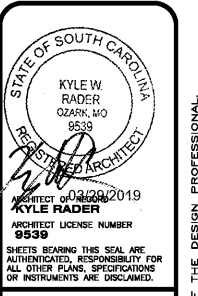
EXTERIOR FINISH SCHEDULE

TYPE:	COMPANY:	COLOR:
STORE FRONT	EFCO	MATCH EXISTING
	KAWNEER	
VISTA WALL		
EXTERIOR SOLID METAL DOORS	GC	FIELD PRIME AND PAINT MATCH TO ADJACENT FINISH.
EXISTING CMU (AS NOTED BELOW)	GC	CLEAN AND REPAIR AS NEEDED. PAINT "LATTE" (SW 6108)
EXISTING CMU (AS NOTED ABOVE)	GC	CLEAN AND REPAIR AS NEEDED. PAINT "SOFTER TAN" (SW 6108)
EXISTING EFIS	GC	CLEAN AND REPAIR AS NEEDED. PAINT "SOFTER TAN" (SW 6108)
EXISTING EFIS (AS NOTED)	GC	CLEAN AND REPAIR AS NEEDED. PAINT "POSITIVE RED" (SW 6871)
NEW BOLLARDS	GC	FIELD PRIME AND PAINT "HUNT CLUB" SW6488 (SEMI-GLOSS)
MISC. OR DECORATIVE ELEMENTS	GC	CLEAN AND REPAIR TOUCH UP AS NEEDED MATCH EXISTING.
EXISTING ROOF	GC	NO CHANGE.

FINISH LEGEND

ALL NEW EXTERIOR PAINTING - PAINT WITH EXTERIOR GRADE PAINT. PREP AND PRIME WALLS AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS FOR PAINT.

- EXISTING CMU BELOW ± 9'-11 1/4": REPAIR AS NEEDED. PAINT "LATTE" (SW 6108)
- EXISTING CMU ABOVE ± 9'-11 1/4": REPAIR AS NEEDED. PAINT "SOFTER TAN" (SW 6141)
- EXISTING EFIS: REPAIR AS NEEDED. PAINT "SOFTER TAN" (SW 6141)
- EXISTING EFIS (AS NOTED): REPAIR AS NEEDED. PAINT "POSITIVE RED" (SW 6871)



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628 GARDNER BLVD
HOLLY HILL, SC 29059

EXTERIOR ELEVATIONS



DRAWN BY: MB
CHECKED BY: SH, KR
DATE: 03/29/2019
REVISION:
PROJECT NUMBER: 19035-HHL
SHEET NUMBER

A2.1