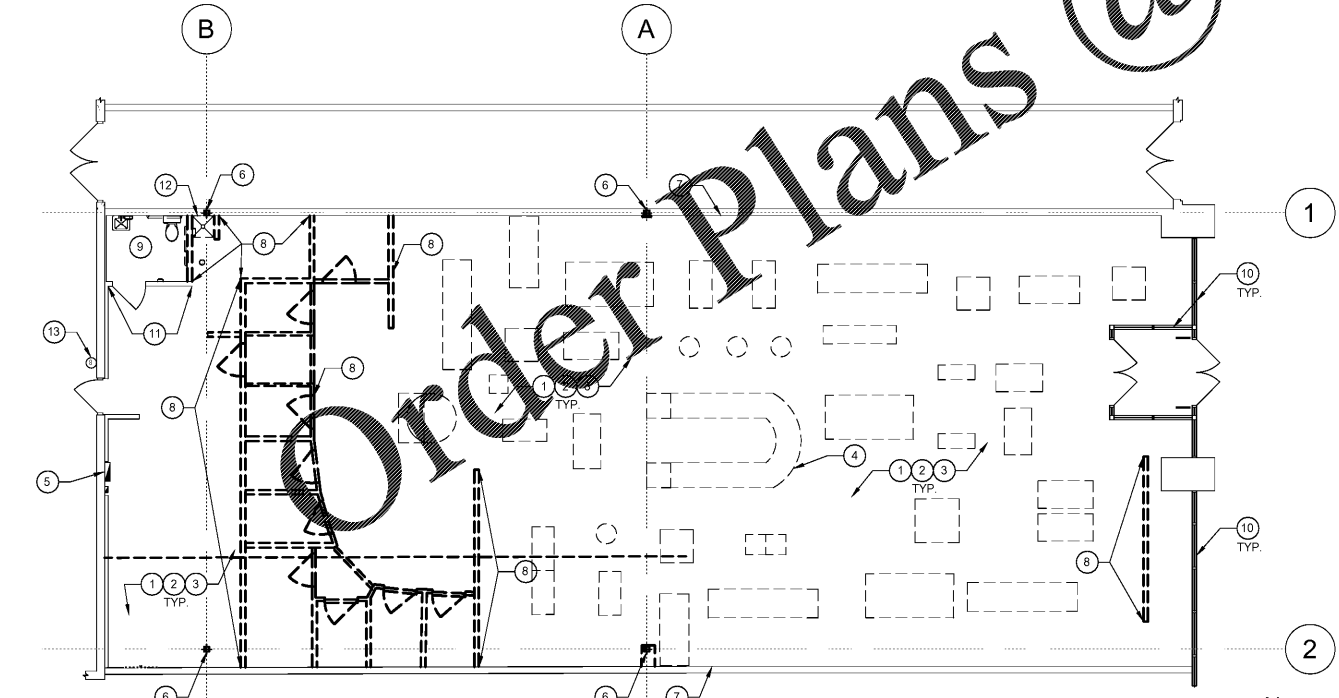


2 DEMOLITION REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"



1 DEMOLITION FLOOR PLAN
 SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

- 1. GENERAL**
- A. SUBMIT FOR APPROVAL SELECTIVE DEMOLITION SCHEDULE, INCLUDING SCHEDULE AND METHODS FOR CAPPING AND CONTINUING UTILITY SERVICE.
 - B. USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.
 - C. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL OTHER LOCAL, STATE AND FEDERAL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
 - D. OBTAIN AND PAY FOR ALL PERMITS REQUIRED TO PERFORM THE DEMOLITION WORK AS REQUIRED BY ALL AGENCIES AND AUTHORITIES HAVING JURISDICTION.
 - E. G.C. SHALL COORDINATE AND BE RESPONSIBLE FOR ALL CITY REQUIREMENTS FOR PROTECTION OF PERSONS, PROPERTY, TRAFFIC CONTROL, BARRICADES, ETC. FOR THE DURATION OF THE DEMOLITION CONTRACT.
 - F. COORDINATE WITH GENERAL CONTRACTOR A SCHEDULE FOR DEMOLITION OF SPECIFIC ITEMS TO CONFORM WITH SCHEDULING FOR OTHER TRADES REQUIRED TO COMPLETE OR PERFORM A DIRECTLY RELATED PORTION OF THE WORK.
- 2. HANDLING**
- A. WHEN THE NATURE OF DEMOLITION WORK REQUIRES THEIR USE, ERECT AND MAINTAIN DUST CHUTES FOR THE DISPOSAL OF MATERIALS, RUBBISH AND DEBRIS.
 - B. REMOVE SALVAGE AND DEBRIS FROM THE SITE AS IT ACCUMULATES. DO NOT STORE, SELL, BURN OR OTHERWISE DISPOSE OF DEBRIS ON THE SITE. REMOVE ALL MATERIALS IN SUCH MANNER AS TO PREVENT SPILLAGE. KEEP ALL PAVEMENTS AND AREAS ADJACENT TO AND LEADING FROM THE SITE, CLEAN AND FREE OF MUD, DIRT, AND DEBRIS AT ALL TIMES. ALL MATERIALS SHALL BE DISPOSED OF LEGALLY.
 - C. ERECT AND MAINTAIN TEMPORARY BRACING, SHORING, LIGHTS, BARRICADES, WARNING SIGNS, AND GUARDS NECESSARY TO PROTECT BUILDING OCCUPANTS, AND ADJOINING TENANTS FROM INJURY, AND/OR DAMAGE, ALL IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS.
 - D. DO NOT DAMAGE BUILDING ELEMENTS AND IMPROVEMENTS INDICATED TO REMAIN. ITEMS OF SALVAGE VALUE WHICH ARE NOT INCLUDED ON SCHEDULE OF SALVAGE ITEMS TO BE RETURNED TO OWNER SHALL BE REVIEWED WITH OWNER AS TO WHETHER THEY CAN BE REMOVED FROM THE PREMISES. STORAGE OR SALE OF ITEMS AT PROJECT SITE IS PROHIBITED. DEMOLISHED MATERIAL SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF USING LEGAL METHODS.
 - E. DO NOT CLOSE OR OBSTRUCT THE MEANS OF EGRESS, CORRIDORS, OR OTHER SPACES WITHOUT THE WRITTEN PERMISSION OF THE OWNER AND THE OCCUPIED AUTHORITIES HAVING JURISDICTION. DO NOT INTERRUPT UTILITIES WITHOUT THE WRITTEN PERMISSION OF THE OWNER OR AUTHORITIES HAVING JURISDICTION. IF NECESSARY, PROVIDE TEMPORARY UTILITIES.
 - F. CEASE OPERATIONS IF PUBLIC SAFETY OR REMAINING STRUCTURES REQUIRE TEMPORARY CORRECTIVE MEASURES UNTIL OPERATIONS CAN BE COMPLETED PROPERLY.
- 3. SEQUENCING AND EXECUTION**
- A. G.C. IS RESPONSIBLE FOR THE SEQUENCING & COORD. OF ALL DEMO WORK. G.C. SHALL COORD. DEMO WORK W/ PHASING DRAWINGS, CONCT. DWGS. AND W/L.
 - B. BY CAREFUL STUDY OF THE CONTRACT DOCUMENTS, DETERMINE THE LOCATION AND EXTENT OF SELECTIVE DEMOLITION TO BE PERFORMED.
 - C. VISIT THE SITE AND VERIFY THE EXTENT AND LOCATION OF ANY SELECTIVE DEMOLITION REQUIRED PRIOR TO STARTING THE WORK.
 - 1) CAREFULLY IDENTIFY LIMITS OF SELECTIVE DEMOLITION.
 - 2) MARK INTERFERENCE SPACES AS REQUIRED TO ENABLE WORKMEN TO ALSO IDENTIFY ITEMS TO BE REMOVED. ITEMS TO BE LEFT IN PLACE INTACT, ITEMS TO BE SALVAGED, AND ITEMS TO BE REMOVED, SORTED, OR RECYCLING.
 - D. PREPARE AND FOLLOW ORGANIZED PLAN FOR DEMOLITION AND REMOVAL OF ITEMS.
 - 1) SHUT OFF, CAP, AND OTHERWISE PROTECT EXISTING UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE PUBLIC AGENCY OR UTILITY HAVING JURISDICTION.
 - 2) COMPLETELY REMOVE ITEMS SCHEDULED TO BE SO DEMOLISHED AND REMOVED, LEAVING SURFACES CLEAN, SOLID, AND READY TO RECEIVE NEW MATERIALS SPECIFIED ELSEWHERE. IN ALL ACTIVITIES, COMPLY WITH PERTINENT REGULATIONS, GOVERNMENTAL AGENCIES HAVING JURISDICTION.
 - E. G.C. SHALL PREVENT DUST BECOMING A NUISANCE TO OTHER TENANTS OF THE BUILDING, THE PUBLIC, NEIGHBORING BUILDINGS, AND TO OTHER WORK BEING PERFORMED. G.C. SHALL PROVIDE PROTECTIVE BARRIER THAT EXTENDS FULL HEIGHT TO UNDERSIDE OF DECK OR STRUCTURE TO CONTAIN & PREVENT THE SPREAD OF DIRT, DUST, DEBRIS ETC. FROM WORK AREA INTO OTHER ADJACENT NON-WORK AREAS. G.C. IS RESPONSIBLE FOR THE TYPE OF BARRICADE TO BE USED.
 - F. EXECUTE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS AND ADJACENT PROPERTY AGAINST DAMAGE BY FALLING DEBRIS.
 - G. IN THE EVENT OF THE DEMOLITION OF ITEMS NOT SCHEDULED TO BE DEMOLISHED, PROMPTLY REPLACE SUCH ITEMS TO THE APPROVAL OF THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
 - H. WHERE EXISTING CONSTRUCTION TO REMAIN IS AFFECTED BY DEMOLITION OR INSTALLATION OF NEW WORK, PATCH, REPAIR OR REPLACE THE WORK AT SURFACES WHICH HAVE BEEN DAMAGED TO MATCH EXISTING (T.M.E.) ADJACENT CONSTRUCTION.

KEY NOTES

- 1 G.C. TO REMOVE ALL EXISTING TRADE/ MERCHANDISE FIXTURES AND EQUIPMENT U.N.O.
- 2 G.C. TO REMOVE ALL SURFACE BLOCKING, FIXTURE FLOOR ANCHORS, WALL STANDARDS, ETC. G.C. TO P&R EXISTING GWB PARTITIONS, CEILING, FLOOR ETC. G.C. TO MAKE READY A SMOOTH & CLEAN SURFACE FOR NEW WORK & TO RECEIVE NEW FINISHES TYP.
- 3 REMOVE ALL EXISTING FLOOR FINISH. CLEAN/ REMOVE ALL MASTIC OR ADHESIVES TO CONCRETE FLOOR. G.C. TO CLEAN AND P&R CONCRETE FLOOR TO MAKE READY TO RECEIVE NEW FINISH.
- 4 G.C. TO DEMO EXISTING CASHWRAP. VERIFY LOCATION IN FIELD. ALL EXISTING POWER, TELEPHONE & DATA LINES TO BE REMOVED BACK TO POINT OF ORIGIN TYP.
- 5 G.C. TO DEMO EXISTING ELECTRICAL PANEL IN PREPARATION OF NEW.
- 6 EXISTING COLUMN TO REMAIN. G.C. TO DEMO COLUMN ENCLOSURES. U.N.O. AS SHOWN.
- 7 EXISTING DEMISING WALLS TO REMAIN. G.C. TO P&R AS NEEDED DUE TO DEMO/NEW WORK AND ENSURE EXISTING FIRE RATING IS MAINTAINED. G.C. TO V.I.F. EXISTING GWB EXTENDS TO U.S. OF DECK. IF NOT EXISTING, G.C. TO F&I.
- 8 EXISTING WALLS & PARTITIONS TO BE DEMOLISHED TO EXTENTS SHOWN, INCLUDING DOORS & DOOR FRAMES. ANY EXISTING UTILITIES IN DEMO WALLS TO BE REMOVED BACK TO POINT OF ORIGIN.
- 9 EXISTING RESTROOM TO BE MODIFIED. EXISTING HAND SINK TO REMAIN, EXISTING TOILET AND ASSOCIATED GRAB BARS TO BE DEMOLISHED AND SALVAGED FOR RELOCATION. G.C. TO REMOVE ALL EXISTING VCT FLOOR FINISH. CLEAN/REMOVE ALL MASTIC OR ADHESIVES TO MAKE READY FOR NEW FINISH. G.C. TO VERIFY FIXTURES ARE IN GOOD CONDITION. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO START OF CONSTRUCTION. EXISTING FLOOR & WALL FINISHES TO BE REMOVED, P&R TO MAKE A SMOOTH & CLEAN SURFACE FOR NEW WORK & TO RECEIVE NEW FINISHES TYP.

- 10 EXISTING STOREFRONT & VESTIBULE TO REMAIN IN ITS ENTIRETY. U.N.O.
- 11 EXISTING PARTITION TO REMAIN. U.N.O. TYP.
- 12 EXISTING MOP SINK TO BE DEMOLISHED IN ITS ENTIRETY.
- 13 EXISTING DOOR BUZZER TO REMAIN. IF NONE EXISTING, G.C. TO F&I.
- 14 EXISTING CEILING GRID & LIGHTING TO BE DEMOLISHED IN ITS ENTIRETY ON SALES FLOOR, VESTIBULE & STOCKROOM. U.N.O. TYP. REFER TO MEP. ENG. DWGS. FOR MORE INFORMATION.
- 15 EXISTING EXIT/EMERGENCY LIGHTING TO REMAIN, AS SHOWN. U.N.O. REFER TO MEP. ENG. DWGS. FOR MORE INFORMATION. G.C. TO REMOVE E.T.R. FIXTURES DURING CONSTRUCTION & REINSTALL AFTER FINAL PAINTING IS COMPLETE.
- 16 EXISTING EXTERIOR LIGHTING TO REMAIN. TYP.
- 17 EXISTING SOFFIT TO REMAIN IN ITS ENTIRETY. LIGHTING TO BE DEMOLISHED. G.C. TO P&R AS NEEDED TO MAKE READY TO RECEIVE NEW FINISHES.
- 18 EXISTING CEILING GRID & LIGHT IN TOILET ROOM TO REMAIN. G.C. TO CUT BACK EXISTING GRP AT A MINIMUM. DUE TO REMOVAL OF WALL.
- 19 EXISTING SPRINKLER SYS. TO BE MODIFIED AS REQ'D FOR NEW DESIGN & OPEN CEILINGS. REFER TO MEP. ENG. DWGS. FOR MORE INFORMATION.
- 20 EXISTING RTU'S TO REMAIN IN THEIR ENTIRETY. REFER TO MEP. ENG. DWGS. TYP. G.C. TO VERIFY UNITS ARE IN GOOD WORKING ORDER AND REPORT NECESSARY MAINTENANCE OR REPAIR TO OWNER & ARCHITECT PRIOR TO START OF CONSTRUCTION.
- 21 HVAC DUCT BRANCHES & DIFFUSERS TO BE DEMOLISHED, AS SHOWN. DUCT RISERS FROM THE RTU ARE TO BE CUT BACK. REFER TO MEP. ENG. DWGS. FOR MORE INFORMATION. TYP.

SHEET NOTES

- 1. EXIST. SPRINKLER & FP SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. WILL APPROVED FP CONTRACTOR & LOCAL FIRE MARSHALL FOR ALL FP WORK DURING CONSTRUCTION TYP.
- 2. EXIST. FIRE ALARM SYSTEM TO REMAIN COMPLETELY OPERATIONAL DURING DEMO & ALL PHASES OF WORK. G.C. TO COORD. WILL APPROVED FA CONTRACTOR & LOCAL FIRE MARSHALL FOR ALL FA WORK DURING CONSTRUCTION TYP.
- 3. G.C. MUST MAINTAIN A SECOND MEANS OF EGRESS AT ALL TIMES DURING CONSTRUCTION. MINIMUM EGRESS WIDTH SHALL BE NO LESS THAN 3'-6"
- 4. G.C. TO REFER TO A110 FOR EXTENT OF CONCRETE TRENCHING AS NEEDED FOR POWER/DATA. G.C. TO REFER TO MEP. ENG. DWGS. FOR ANY TRENCHING NEEDED FOR PLUMBING.

LEGEND

- EXISTING TO REMAIN. PATCH & REPAIR AS REQUIRED TO MAINTAIN REQUIRED RATINGS AND TO MAKE READY FOR FINAL TENANT FINISHES
- DEMOLITION

- I. FINISH NEW AND EXISTING SURFACES AS SCHEDULED. CLEAN EXISTING SURFACES OF DIRT, GREASE AND LOOSE PAINT BEFORE REFINISHING.
- J. COORDINATE THE REMOVAL, RELOCATION, REPLACEMENT, RE-USE, SHUT-OFF, STUB-OFF, CAPPING-OFF OR UPGRADING OF ALL EXISTING SPRINKLER, HVAC, FIRE ALARM, SECURITY AND ELECTRICAL SYSTEMS, EQUIPMENT AND APPURTENANCES - INCLUDING, BUT NOT LIMITED TO, UTILITY LINES, DUCTS, CONNECTIONS, PANELS, VENTS, FANS, PIPING, DEVICES, CONTROLS, OUTLETS, AND CONDUIT DURING CONSTRUCTION AS REQUIRED, AS SCHEDULED, OR AS SPECIFIED IN ACCORDANCE WITH ALL LOCAL, MUNICIPAL AND STATE CODES.

4. SCOPE OF ITEMS TO BE DEMOLISHED & REMOVED U.N.O. - INCLUDING BUT NOT LIMITED TO:

- 1. EXISTING PARTITION CONSTRUCTION, FRAMES, DOOR FRAMES AND DOORS AS INDICATED TO BE REMOVED ON THE DRAWINGS.
- 2. PORTIONS OF EXISTING PLUMBING, AS INDICATED ON PLANS.
- 3. EXISTING MILLWORK AND FLOORING AS INDICATED ON PLANS.
- 4. EXISTING LIGHTING, SECURITY CAMERAS, SMOKE DETECTORS, AND NOTION DETECTORS AS INDICATED ON PLANS.
- 5. REFER TO DEMOLITION KEY NOTES FOR ADD'L INFO.
- 6. COORD. ALL DEMOLITION W/ MEP. ENG. DWGS.

5. EXISTING CONSTRUCTION TO REMAIN - INCLUDING BUT NOT LIMITED TO:

- 1. EXISTING MALL STOREFRONT, EXTERIOR CONSTRUCTION, EXTERIOR FINISHES, LANDSCAPING, & NEUTRAL PIER ETC. G.C. TO PATCH & REPAIR ALL DAMAGE TO EXIST. CONSTRUCTION TO REMAIN, INCLUDING EXT. PEDESTRIAN CONC. WALKWAY, ANY EXTERIOR MALL CONDITIONS DUE TO DEMOLITION OR NEW CONSTRUCTION.
- 2. EXISTING LIGHTING, MECHANICAL, ELECTRICAL, FIRE PROTECTION SYSTEMS, SERVICES, EQUIPMENT, FIXTURES AND RELATED ACCESSORIES AS SCHEDULED OR NOTED TO REMAIN.
- 3. EXISTING STRUCTURE INCLUDING BUT NOT LIMITED TO STRUCTURAL BEAMS, COLUMNS, BAR JOISTS, BRACING, ETC.

6. ITEMS TO BE SALVAGED AND SORTED FOR RECYCLING:

- 1. ALL METAL PRODUCTS, INCLUDING BUT NOT LIMITED TO, MISCELLANEOUS METALS, METAL DOORS AND FRAMES AND STRUCTURAL STEEL.
- 2. ALL ALUMINUM PRODUCTS, INCLUDING BUT NOT LIMITED TO, ALUMINUM DOORS, FRAMES AND DUCTWORK.
- 3. ALL UNTREATED WOOD STUDS, FRAMING AND PLYWOOD.
- 4. ALL GLASS, INCLUDING MIRRORS.
- 5. ANY OTHER ITEMS DEEMED RECYCLABLE BY THE G.C., OWNER OR ARCHITECT PRIOR TO THE START OF DEMOLITION.

ADDITIONAL DEMOLITION NOTES

- 1. ANY EXISTING EQUIPMENT OR COMPONENT IN OR PERTAINING TO THE PREMISES THAT IS BEING ABANDONED MUST BE DEMOLISHED COMPLETELY AND PROPERLY REMOVED FROM PREMISES. U.N.O.
- 2. ALL ABOVE GROUND UTILITY LINES NOT TO BE RE-USED MUST BE REMOVED TO POINT OF ORIGIN. ALL UNDER SLAB UTILITY LINES TO BE CUT, CAPPED AND SEALED PER CODE. U.N.O.
- 3. ALL ROOF MOUNTED EQUIPMENT ABOVE THE LEASED PREMISES NOT TO BE RE-USED MUST BE REMOVED BY G.C. AT TENANT EXPENSE. ROOF MUST BE PROPERLY PATCHED BY MALL REQUIRED ROOFER. ROOF CURBS MUST BE REMOVED AND ROOF PATCHED-DO NOT CAP. COORDINATE ALL WORK WITH MALL OPERATIONS DIRECTOR. U.N.O.
- 4. ALL FLOOR PENETRATIONS MUST BE CORE BORED OR SAW CUT. G.C. MUST X-RAY OR OTHERWISE VERIFY THAT THERE ARE NO EXISTING UNDER SLAB CONDITIONS OR UTILITIES THAT WILL BE AFFECTED PRIOR TO CORING/CUTTING CONCRETE.
- 5. OPENINGS ON ELEVATED SLABS MUST BE SLEEVED, SEALED, FIRE STOPPED, AND WATERPROOFED WHERE REQUIRED OR NOTED.
- 6. ALL PIPING SLEEVES MUST EXTEND A MIN. OF 4" OR TO THE HEIGHT OF THE BASE.
- 7. CONSTRUCTION BARRICADE AND DUMPSTERS IS TO BE COORDINATED WITH MALL MANAGEMENT ON SITE.
- 8. G.C. IS RESPONSIBLE FOR ALL DEMOLITION OF ITEMS IN AN EXISTING SPACE IF THEY ARE NOT PART OF, OR ARE IN CONFLICT WITH, THE BUILD-OUT OF THE ADIDAS GROUP STORE. U.N.O.
- 9. G.C. SHALL VERIFY THE EXISTING SPACE IS CLEAR OF COLUMNS AND ANY OTHER ITEMS THAT MAY CONFLICT WITH THE ADIDAS GROUP BUILD-OUT PRIOR TO START OF CONSTRUCTION. G.C. SHALL NOTIFY ARCHITECT AND OWNER IMMEDIATELY IF CONFLICTS ARE FOUND. TYP.
- 10. REPORT ANY AND ALL SIGNIFICANT EXISTING DAMAGE DISCOVERED DURING DEMOLITION TO ARCHITECT AND OWNER'S REPRESENTATIVE AS SOON AS POSSIBLE.
- 11. G.C. TO EVALUATE ALL DEMOLISHED MATERIALS FOR WASTE MANAGEMENT COMPLIANCE OR REUSE. REFER TO SPECIFICATIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE.
- 12. ALL ABANDONED ELECTRICAL INFRASTRUCTURE TO BE REMOVED. ALL UNUSED INFRASTRUCTURE NOT REQUIRED BY THE TENANT TO BE REMOVED. U.N.O.