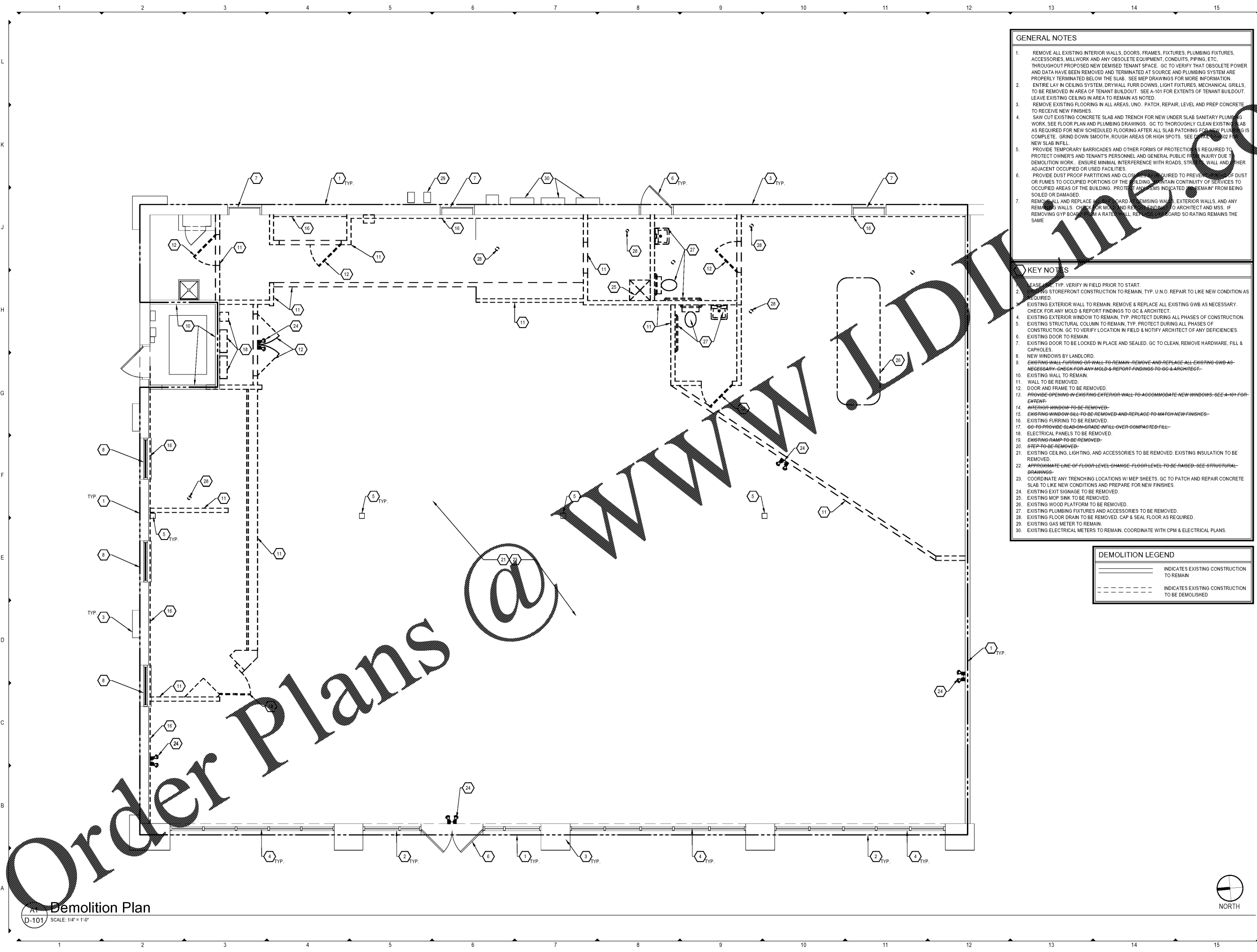


USER: K:\PROJECTS - PLOTTED: 10/20/19 8:28:19 AM P:\035000\035006\000\035006.dwg:35598\Multifacessor:TN (D:\035000\035006\000\035006.dwg) LAYOUT: D-101



- GENERAL NOTES**
- REMOVE ALL EXISTING INTERIOR WALLS, DOORS, FRAMES, FIXTURES, PLUMBING FIXTURES, ACCESSORIES, MILLWORK AND ANY OBSOLETE EQUIPMENT, CONDUITS, PIPING, ETC. THROUGHOUT PROPOSED NEW DEMISED TENANT SPACE. GC TO VERIFY THAT OBSOLETE POWER AND DATA HAVE BEEN REMOVED AND TERMINATED AT SOURCE AND PLUMBING SYSTEM ARE PROPERLY TERMINATED BELOW THE SLAB. SEE MEP DRAWINGS FOR MORE INFORMATION.
 - ENTIRE LAY IN CEILING SYSTEM, DRYWALL FURR DOWNS, LIGHT FIXTURES, MECHANICAL GRILLS, TO BE REMOVED IN AREA OF TENANT BUILDOUT. SEE A-101 FOR EXTENTS OF TENANT BUILDOUT. LEAVE EXISTING CEILING IN AREA TO REMAIN AS NOTED.
 - REMOVE EXISTING FLOORING IN ALL AREAS, UNO. PATCH, REPAIR, LEVEL AND PREP CONCRETE TO RECEIVE NEW FINISHES.
 - SAW CUT EXISTING CONCRETE SLAB AND TRENCH FOR NEW UNDER SLAB SANITARY PLUMBING WORK. SEE FLOOR PLAN AND PLUMBING DRAWINGS. GC TO THOROUGHLY CLEAN EXISTING SLAB AS REQUIRED FOR NEW SCHEDULED FLOORING AFTER ALL SLAB PATCHING FOR NEW PLUMBING IS COMPLETE. GRIND DOWN SMOOTH, ROUGH AREAS OR HIGH SPOTS. SEE DETAIL C-202 FOR NEW SLAB INFILL.
 - PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S AND TENANT'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK. ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALLS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.
 - PROVIDE DUST PROOF PARTITIONS AND CLOSINGS AS REQUIRED TO PREVENT ESCAPE OF DUST OR FUMES TO OCCUPIED PORTIONS OF THE BUILDING. MAINTAIN CONTINUITY OF SERVICES TO OCCUPIED AREAS OF THE BUILDING. PROTECT ANY ITEMS INDICATED TO REMAIN FROM BEING SOILED OR DAMAGED.
 - REMOVE ALL AND REPLACE GYP BOARD REMAINING WALLS, EXTERIOR WALLS, AND ANY REMAINING WALLS, CHIMNEY OR MANTLE AND REMOVE FINISHING TO ARCHITECT AND MSS. IF REMOVING GYP BOARD AT A RATE, ALL REMOVE GYP BOARD SO RATE REMAINS THE SAME

- KEY NOTES**
- REMOVE EXISTING TYP. VERIFY IN FIELD PRIOR TO START.
 - EXISTING STOREFRONT CONSTRUCTION TO REMAIN, TYP. U.N.O. REPAIR TO LIKE NEW CONDITION AS REQUIRED.
 - EXISTING EXTERIOR WALL TO REMAIN. REMOVE & REPLACE ALL EXISTING GWB AS NECESSARY. CHECK FOR ANY MOLD & REPORT FINDINGS TO GC & ARCHITECT.
 - EXISTING EXTERIOR WINDOW TO REMAIN. TYP. PROTECT DURING ALL PHASES OF CONSTRUCTION.
 - EXISTING STRUCTURAL COLUMN TO REMAIN, TYP. PROTECT DURING ALL PHASES OF CONSTRUCTION. GC TO VERIFY LOCATION IN FIELD & NOTIFY ARCHITECT OF ANY DEFICIENCIES.
 - EXISTING DOOR TO REMAIN.
 - EXISTING DOOR TO BE LOCKED IN PLACE AND SEALED. GC TO CLEAN, REMOVE HARDWARE, FILL & CAP HOLES.
 - NEW WINDOWS BY LANDLORD.
 - EXISTING WALL FURRING OR WALL TO REMAIN. REMOVE AND REPLACE ALL EXISTING GWB AS NECESSARY. CHECK FOR ANY MOLD & REPORT FINDINGS TO GC & ARCHITECT.
 - EXISTING WALL TO REMAIN.
 - WALL TO BE REMOVED.
 - DOOR AND FRAME TO BE REMOVED.
 - PROVIDE OPENING IN EXISTING EXTERIOR WALL TO ACCOMMODATE NEW WINDOWS-SEE A-101 FOR EXTENT.
 - INTERIOR WINDOW TO BE REMOVED.
 - EXISTING WINDOW SILL TO BE REMOVED AND REPLACE TO MATCH NEW FINISHES.
 - EXISTING FURRING TO BE REMOVED.
 - GO TO PROVIDE SLAB ON GRADE INFILL OVER COMPACTED FILL.
 - ELECTRICAL PANELS TO BE REMOVED.
 - EXISTING RAMP TO BE REMOVED.
 - STEP TO BE REMOVED.
 - EXISTING CEILING, LIGHTING, AND ACCESSORIES TO BE REMOVED. EXISTING INSULATION TO BE REMOVED.
 - APPROXIMATE LINE OF FLOOR LEVEL CHANGE. FLOOR LEVEL TO BE RAISED-SEE STRUCTURAL DRAWINGS.
 - COORDINATE ANY TRENCHING LOCATIONS W/ MEP SHEETS. GC TO PATCH AND REPAIR CONCRETE SLAB TO LIKE NEW CONDITIONS AND PREPARE FOR NEW FINISHES.
 - EXISTING EXIT SIGNAGE TO BE REMOVED.
 - EXISTING MOP SINK TO BE REMOVED.
 - EXISTING WOOD PLATFORM TO BE REMOVED.
 - EXISTING PLUMBING FIXTURES AND ACCESSORIES TO BE REMOVED.
 - EXISTING FLOOR DRAIN TO BE REMOVED. CAP & SEAL FLOOR AS REQUIRED.
 - EXISTING GAS METER TO REMAIN.
 - EXISTING ELECTRICAL METERS TO REMAIN. COORDINATE WITH CPM & ELECTRICAL PLANS.

DEMOLITION LEGEND

———	INDICATES EXISTING CONSTRUCTION TO REMAIN
- - - - -	INDICATES EXISTING CONSTRUCTION TO BE DEMOLISHED

FRCH
DESIGN WORLDWIDE

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ISSUE INFORMATION

REVISIONS

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FRCH Nelco Architecture, Inc.

PROJECT INFORMATION

**Marketplace Center
MSS #5158**

1948 Old Fort Pkwy
Murfreesboro, TN 37129

PROJECT #:
035986.000

SHEET INFORMATION

Demolition Plan

DRAWN BY:
KRP

REVIEWED BY:
SA / RR

SCALE:
As Noted

AUTHORIZED FOR:
Bid/Permit/LL

D-101

Order Plans

@

Demolition Plan

D-101 SCALE: 1/4" = 1'-0"



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