

GENERAL NOTES

ARCHITECTURAL NOTES:

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL LAWS, CODES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
- BIDDING CONTRACTORS SHALL VISIT THE JOB SITE AND VERIFY ALL FIELD CONDITIONS AS REQUIRED TO COMPLETE THE WORK AND COMPARE TO APPLICABLE CONSTRUCTION DOCUMENTS. REPORT DISCREPANCIES BETWEEN FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS TO OWNER'S REPRESENTATIVE PRIOR TO SUBMITTING BID. FAILURE TO REPORT DISCREPANCIES DOES NOT RELIEVE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE FINISHED PRODUCT TO THE INTENT OF THE CONSTRUCTION DOCUMENTS AND SHALL NOT RESULT IN ADDITIONAL TIME OR COMPENSATION OR REVISE THE ESTABLISHED CONTRACT AMOUNTS.
- CONTRACTOR SHALL ADHERE TO THE CONSTRUCTION DOCUMENTS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE MEANING OR INTENT OF THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE ARCHITECT WHO WILL MAKE ANY NECESSARY CLARIFICATION, OR REVISIONS AS REQUIRED.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL CONSTRUCTION AND DEVELOPMENT RELATED FEES, INCLUDING, BUT NOT LIMITED TO: CONSTRUCTION PERMIT FEES, SEWER AND WATER TAP FEES, ENVIRONMENTAL IMPACT FEES, ETC. THE SELECTED QUALIFIED BIDDER WILL BE REQUIRED TO PROVIDE A COMPLETE LINE-ITEM LIST OF ALL FEES INCLUDED IN BID BASED ON APPROPRIATE SCHEDULES.
- CONTRACTOR AND HIS SUBCONTRACTORS AND AGENTS SHALL HOLD ALL APPLICABLE AND REQUIRED LICENSES FOR THE JURISDICTION WHERE THE WORK WILL BE PERFORMED. CONTRACTOR AND HIS AGENTS SHALL REVIEW AND UNDERSTAND ALL LANDLORD REQUIREMENTS AND COMPLY FULLY WITH SUCH.
- TO ENSURE COORDINATION BETWEEN CONTRACTORS, CONTRACTOR SHALL SUPPLY EACH SUBCONTRACTOR OR AGENT WITH A FULL SET OF CONSTRUCTION DOCUMENTS FOR THEIR USE.
- ALL WORK LISTED, SHOWN OR IMPLIED IN THE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS AND VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. WHERE PRODUCTS INCLUDE MANUFACTURER REQUIREMENTS, THOSE REQUIREMENTS SHALL BE CONSIDERED AN EXTENSION OF THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL PROTECT THE EXISTING CONSTRUCTION AND REPAIR ANY DAMAGE OCCURRING AS A RESULT OF THEIR OPERATIONS AT NO COST TO THE TENANT OR LANDLORD. CONTRACTOR SHALL ALSO ENSURE THAT THEIR OPERATIONS DO NOT INTERFERE WITH THE OPERATION OF THE REMAINDER OF THE PROPERTY. BARRIERS TO NOISE, DUST AND SECURITY BETWEEN CONSTRUCTION AREAS AND PUBLIC AREAS SHALL BE ERRECTED, MAINTAINED AND REMOVED PER THE LANDLORD CRITERIA BY THE CONTRACTOR. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, EQUIPMENT, ETC. THROUGHOUT THE CONSTRUCTION PROCESS.
- NO CLAIMS FOR ADDITIONAL COMPENSATION AND/OR TIME SHALL BE MADE OR CONSIDERED VALID UNLESS WRITTEN NOTIFICATION IS RECEIVED BY THE OWNER'S REPRESENTATIVE AND THE ADDITIONAL COMPENSATION AND/OR TIME IS APPROVED IN ADVANCE OF PROCEEDING WITH THE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING AND FITTING NECESSARY TO ACHIEVE THE INTENT OF THE CONSTRUCTION DOCUMENTS.
- NEW CONSTRUCTION AT EXISTING CONDITIONS SHALL ALIGN WITH AND MATCH EXISTING CONSTRUCTION EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
- CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILING, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS. ANY AREA OF THE PLANS MISSING REQUIRED DIMENSIONS MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- DIMENSIONS ARE TO FACE OF FINISHED MATERIAL UNLESS NOTED OTHERWISE.
- EACH CONTRACTOR SHALL COORDINATE THEIR WORK WITH ALL OTHER CONTRACTORS, VENDORS, AND OWNERS CONTRACTORS/VENDORS, ETC. ON THE PROJECT TO ENSURE THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY.
- CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING ARCHITECTURAL, MECHANICAL, ELECTRICAL, MILLWORK (CABINET) SKETCHES/DETAILS. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ARCHITECT PRIOR TO EXECUTION OF WORK.
- G.C. SHALL PROVIDE CONSTRUCTION DUMPSTER FOR REMOVAL OF ALL TRASH AND DEBRIS AND COORDINATE THE LOCATION OF THE DUMPSTER WITH THE LANDLORD.
- ALL JOINTS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED IN ACCORDANCE WITH THE BUILDING CODE AND ENERGY CODE.
- ALL WOOD IN CONTACT WITH CONCRETE MASONRY SHALL BE PRESSURE TREATED, MOISTURE RESISTANT WOOD.
- ALL WOOD TRIM OR OTHER UNFINISHED TRIM ITEMS SHALL BE CUT TO FIT, RAW AND EXPOSED SURFACES SHALL BE FINISHED TO MATCH MAIN TRIM FINISH.
- G.C. TO PROVIDE 5% ADDITIONAL STOCK OF FINISH MATERIALS OR AS AGREED TO BY THE CONSTRUCTION MANAGER.
- ALL SURFACES WHICH ARE INDICATED TO BE FINISHED OR PAINTED SHALL BE PREPARED, SANDED, TREATED, AND PRIMED IN STRICT ACCORDANCE WITH COMMERCIAL QUALITY STANDARDS, AND IN STRICT ACCORDANCE WITH FINISH MATERIAL MANUFACTURER'S INSTRUCTIONS.
- APPLICATION OF MATERIAL OR EQUIPMENT INSTALLED BY OTHERS CONSTITUTES ACCEPTANCE OF THAT WORK BY THE G.C. AND ASSUMPTION OF THE RESPONSIBILITY FOR SATISFACTORY INSTALLATION AND PERFORMANCE.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BRACING TO STRUCTURE FOR INTERIOR PARTITIONS, SOFFITS, CEILING, PLATFORMS, ETC. WHETHER INDICATED ON THE DRAWINGS OR NOT.
- ALL WORK SHALL BE DONE TO THE STANDARDS OF TRADE PRACTICE.

LIFE SAFETY REQUIREMENTS

- FIRE PROTECTION SYSTEM. REFER TO MECHANICAL SPECIFICATIONS.
A. DRAWINGS SHALL BE PREPARED BY THE SPRINKLER CONTRACTOR AS REQUIRED.
B. RESPONSIBLE FOR COMPLIANCE WITH THE LOCAL AND STATE REQUIREMENTS GOVERNING FIRE SPRINKLERS. PREPARE SHOP DRAWINGS AND OBTAIN APPROVAL FROM ALL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL KNOW, UNDERSTAND & COMPLY WITH ALL LANDLORD REQUIREMENTS.
C. ASCERTAIN THE EXTENT AND LOCATION OF ALL EXISTING SPRINKLER DROP LOCATIONS, RELOCATE AND/OR ADD SPRINKLER HEADS AS REQUIRED TO PROVIDE A COMPLETE APPROVED SYSTEM.
D. ALL SPRINKLER HEAD LOCATIONS AND ALL PIPE LOCATIONS MUST BE COORDINATED WITH CONSTRUCTION DOCUMENTS PRIOR TO BEGINNING WORK. PROVIDE ARCHITECT WITH SPRINKLER SHOP DRAWINGS PRIOR TO COMMENCEMENT OF FABRICATION.
E. SPRINKLER HEADS: REFER TO SPRINKLER NOTES ON FIRE PROTECTION PLAN SHEET.
F. UPON COMPLETION OF ALL SPRINKLER SYSTEM MODIFICATIONS AND TESTS, G.C. SHALL SUBMIT A WRITTEN CERTIFICATE TO OWNER STATING THAT THE SPRINKLER SYSTEM HAS BEEN INSPECTED AND APPROVED.
- PROVIDE OCCUPANCY SIGNS CONFORMING TO APPLICABLE BUILDING CODE REQUIREMENTS.
- PROVIDE ADDITIONAL EXIT SIGNS AND FIRE EXTINGUISHERS IN TYPE, NUMBER AND LOCATION AS DIRECTED BY THE FIRE DEPARTMENT FIELD INSPECTOR.
- INTERIOR FINISHES SHALL EXCEED A FLAME SPREAD RATING OF 1.0 ON ALL CORRIDORS (WALLS AND CEILING).
G. GENERAL CONTRACTOR SHALL PROVIDE A 'DESIGN-BUILT' ALARM SYSTEM FOR THIS PROJECT. ENGAGE ALL APPROVED TRADE CONTRACTORS IN THE SITE TO ENGINEER THE SYSTEM COMPLYING WITH NFPA 72 - STATE, LOCAL & LANDLORD REQUIREMENTS.

ABBREVIATIONS

ADA AG	AMERICAN DISABILITY ACT	CC	EQUAL ACCESSIBILITY GUIDELINES	MIN	MINIMUM	WC	WATER CLOSET
ACT	CONSTRUCTION ACT	FCC	FIRE EXTINGUISHER CABINET	MTL	METAL	WD	WOOD
CL	CEILING	FIN	FLOOR FINISH	MWC	MILLWORK CONTR.	W.I.C.	WOOD INSTITUTE OF CALIFORNIA
CLG	CEILING	FLR	FLOOR	N.C.	NOT IN CONTACT	W.R.	WATER RESISTANT
CLT	CEILING TILE	F.R.	FIRE RATED	OPP	OPPOSITE		
CONC.	CONCRETE	F.R.T.	FIRE RETARDANT TREATED	OVER	OVER		
CONC.	CONCRETE	GA	GALVANNEED	REQ.	REQUIRED		
CONC.	CONCRETE	GC	GENERAL CONTRACTOR	R	RADIUS		
CONC.	CONCRETE	GYP. BD.	GYP. BOARD	SCH.	SCHEDULED		
CONC.	CONCRETE	HR.	HOUR	SM.	SIMILAR		
CONC.	CONCRETE	HT	HEIGHT	TYP.	TYPICAL		
CONC.	CONCRETE	INSUL.	INSULATION	UN.O.	UNLESS NOTED OTHERWISE		
CONC.	CONCRETE	JST.	JOIST	V.V.	VARIABLE AIR VOLUME		
CONC.	CONCRETE	LAV.	LAVATORY	V.I.F.	VERIFY IN FIELD		
CONC.	CONCRETE	MAX.	MAXIMUM	VERT.	VERTICAL		
CONC.	CONCRETE	MANF.	MANUFACTURER				

CLIENT

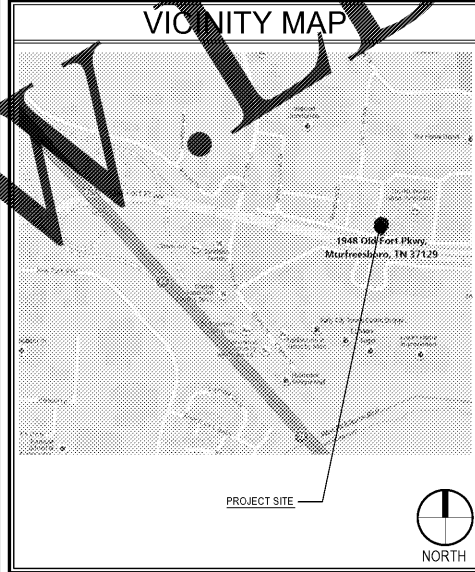
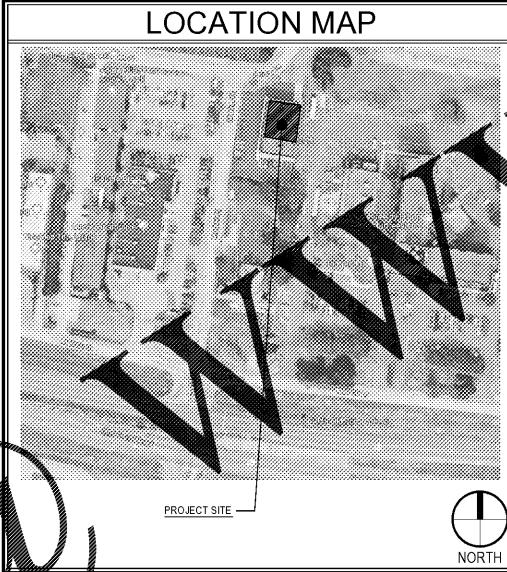
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SCOPE OF WORK

NEW TENANT IMPROVEMENT WITHIN AN EXISTING COMMERCIAL BUILDING SPACE. WORK TO INCLUDE, BUT NOT LIMITED TO:

- THE COMPLETE BUILD-OUT OF THE SPACE
- INTERIOR WALLS
- FINISHED FLOORING
- CEILING
- LIGHTING
- FIXTURE INSTALLATION
- SEE ENGINEERING DRAWINGS FOR SCOPE OF WORK
- ELECTRICAL
- MECHANICAL
- PLUMBING WORK
- STRUCTURAL WORK, AS REQUIRED.



PROJECT CONTACTS

PROJECT LOCATION: Marketplace Center 1948 Old Fort Pkwy Murfreesboro, TN 37129	LANDLORD: Southeast Ventures, LLC 2029 Fishlake Pkwy Franklin, TN 37069 Contact: Jeremy Conrad Phone: 615.545.8368	OWNER - FRANCHISE PARTNER: MRB Suites, LLC 2029 Fishlake Pkwy Franklin, TN 37069 Contact: Jim Amiel Email: jamiel@mysalonsuite.com
OWNER - CONSTRUCTION PROJECT MANAGER: MY SALON Suite Contact: Joe Jemberson Phone: 717.830.3435 E-Mail: jemberson@mysalonsuite.com	ARCHITECT: Nelco Architecture, Inc. 311 Elm St., Suite 600 Cincinnati, OH 45202 Phone: 513-241-3000 Contact: Admin Salkovic E-Mail: asalkovic@nrch.com	M.E.P. ENGINEER: KLH Engineers, Inc. Contact: Tyler Frank Phone: 615-442-8500 E-Mail: Tyler@klhengrs.com
OWNER F.P.P.M.: Collins International 613 3rd Avenue South, Suite 500 Nashville, TN 37203 Phone: 615-850-5302	BUILDING DEPARTMENT: City of Murfreesboro Building Codes Department 111 W. Vine St. Murfreesboro, TN 37133 Phone: 615-893.3750	

DRAWING INDEX

DWG No.	DRAWING DESCRIPTION	DATE	BY	CHECKED	APPROVED
G-001	COVER SHEET				
G-002	RESPONSIBILITY SCHEDULE				
G-003	ADA REQUIREMENTS				
G-004	EGRESS PLAN				
D-101	DEMOLITION PLAN				
A-101	CONSTRUCTION PLAN				
A-101.01	CONSTRUCTION PLAN GENERAL NOTES, KEYNOTES, WALL CONSTRUCTION LEGEND				
A-111	DIMENSION PLAN				
A-121	FINISH PLAN				
A-121.01	FINISH SCHEDULE, ROOM FINISH SCHEDULE, RESTROOM ACCESSORY SCHEDULE				
A-121-ALT	FINISH PLAN - ALTERNATE FOR CORRIDOR TILE LAYOUT				
A-131	FIXTURE PLAN, SCHEDULE AND NOTES				
A-141	REFLECTED CEILING PLAN				
A-401	ENLARGED LOBBY PLAN & ELEVATIONS				
A-402	RESTROOM PLAN AND ELEVATIONS				
A-403	TYPICAL SALON SUITE PLAN & ELEVATIONS				
A-501	WALL DETAILS				
A-502	DETAILS				
A-601	DOOR SCHEDULE, DOOR DETAILS, TRANSITION DETAILS AND BASE DETAILS				
A-801	SPECIFICATIONS				
A-802	SPECIFICATIONS				
ELECTRICAL					
E-01	ELECTRIC LEGEND				
E-10	ELECTRIC LIGHTING PLAN				
E-20	ELECTRIC POWER PLAN				
E-30	ELECTRIC ROOF PLAN				
E-40	SPECIAL SYSTEMS PLAN				
E-50	ELECTRIC SINGLE LINE DIAGRAM				
E-51	ELECTRIC PANEL SCHEDULES				
E-60	ELECTRIC SPECIFICATIONS				
E-61	ELECTRIC SPECIFICATIONS				
E-70	LIGHTING COMPLIANCE				
MECHANICAL					
M-00	MECHANICAL LEGEND				
M-10	MECHANICAL FLOOR PLAN				
M-11	MECHANICAL EXHAUST PLAN				
M-20	MECHANICAL DETAILS				
M-30	MECHANICAL SCHEDULES				
M-40	MECHANICAL SPECIFICATIONS				
M-41	MECHANICAL SPECIFICATIONS				
M-50	MECHANICAL ENERGY COMPLIANCE				
PLUMBING					
P-10	PLUMBING WATER PLAN				
P-11	PLUMBING WATER ISOMETRIC				
P-20	PLUMBING GAS PLAN				
P-21	PLUMBING GAS ISOMETRIC				
P-30	PLUMBING SANITARY PLAN				
P-31	PLUMBING SANITARY ISOMETRIC				
P-40	PLUMBING SCHEDULES				
P-50	PLUMBING DETAILS				
P-60	PLUMBING SPECIFICATIONS				

SYMBOL LEGEND

	SECTION	KEY NOTE
	SECTION NUMBER	
	SHEET NUMBER	
	ELEVATION	TOILET FIXTURE OR ACCESSORY
	ELEVATION NUMBER	
	SHEET NUMBER	
	DETAIL	EQPT. NOTATION
	DETAIL NUMBER	
	SHEET NUMBER	
	FLOOR COVERING DETAIL	FINISH NOTATION
	DETAIL NUMBER	
	SHEET NUMBER	
	ROOM IDENTIFICATION	REVISION NUMBER
	ROOM NUMBER	
	DOOR NUMBER	HEIGHT / CEILING HEIGHT / FINISH TAG
	EXISTING DOOR, UON	CLG. TYPE
	NEW DOOR, UON	WINDOW TYPE

PROJECT DATA

APPLICABLE CODES:	2012 INTERNATIONAL BUILDING CODE
BUILDING:	2012 INTERNATIONAL MECHANICAL CODE
MECHANICAL:	2012 INTERNATIONAL PLUMBING CODE
PLUMBING:	2008 NATIONAL ELECTRIC CODE
ELECTRICAL:	2012 INTERNATIONAL FIRE CODE
FIRE PROTECTION:	ICC A117.1-2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
ACCESSIBILITY:	2012 INTERNATIONAL ENERGY CONSERVATION CODE
ENERGY:	N/A
GREEN:	
BUILDING INFO:	
CONSTRUCTION TYPE:	III-B
AUTOMATIC SPRINKLER SYSTEM:	YES
OCCUPANCY GROUP:	B - BUSINESS
GROSS LEASE AREA:	4,799 SQUARE FEET
TOTAL OCCUPANT LOAD:	4,799 SF/100 SF PER OCCUPANT = 48 OCCUPANTS
EXIT REQUIREMENTS:	(2) EXITS REQUIRED; (2) PROVIDED
MAX TRAVEL DISTANCE:	300 FEET
MAX DEAD END LENGTH:	50 FEET
PLUMBING FIXTURE CALCULATIONS:	
OCCUPANT LOAD:	#2 = 24 MALE, 24 FEMALE OCCUPANTS
MEN'S RESTROOM:	WATER CLOSETS: (1) REQUIRED, (1) PROVIDED; (1) URINAL; LAVATORIES: (1) REQUIRED, (1) PROVIDED
WOMEN'S RESTROOM:	WATER CLOSETS: (1) REQUIRED, (2) PROVIDED; LAVATORIES: (1) REQUIRED, (2) PROVIDED
DRINKING FOUNTAINS:	(1) HI-LO REQUIRED; (1) HI-LO PROVIDED
OTHER:	(1) SERVICE SINK REQUIRED; (1) SERVICE SINK PROVIDED

DEFERRED SUBMITTALS

DEFERRED SUBMITTAL:	
• FIRE SPRINKLER	
• FIRE ALARM	
• SIGNAGE	

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ISSUE INFORMATION

REVISIONS	
△	

FRCH Nelco Architecture, Inc.

PROJECT INFORMATION

**Marketplace Center
MSS #5158**
1948 Old Fort Pkwy
Murfreesboro, TN 37129

PROJECT #: 035986.00

SHEET INFORMATION

Cover Sheet

DRAWN BY: KRP
REVIEWED BY: SA / RR
SCALE: As Noted
AUTHORIZED FOR: Bid/Permit/LL

G-001