



Scale: 1" = 20'

PROJECT TITLE  
POPS WINE & SPIRITS  
FORSYTH COUNTY, GA

**PROJECT NOTES**

1. THE SCOPE OF THE PROJECT DEPICTED IN THESE DRAWINGS CONSISTS OF CONSTRUCTION OF A ONE STORY AND BASEMENT COMMERCIAL RETAIL/OFFICE BUILDING AND ASSOCIATED PAVING/UTILITIES.
2. SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
3. SEE MEP DRAWINGS FOR LOCATIONS AND SIZES OF WATER AND SANITARY SEWER CONNECTIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND.
4. ALL DIMENSIONS ARE TO FACE OF BUILDING, FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
5. ALL CONCRETE SHALL BE CLASS C, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH A MAXIMUM SLUMP OF 4 INCHES UNLESS OTHERWISE NOTED. ALL EXPOSED CONCRETE SHALL HAVE A FINE-BROOM FINISH.
6. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.
7. PAVEMENT SHALL BE IN ACCORDANCE WITH GEORGIA DOT STANDARDS AND SPECIFICATIONS.

**Sheet Legend**

- P.O.B. POINT OF BEGINNING
- IPS IRON PIN SET
- R/W RIGHT-OF-WAY
- N/F NEIGHBOR OWNERSHIP
- GI GROUND INTERFERE
- CONC CONCRETE
- ASPH ASPHALT
- SBT SOUTHERN BELL TELEPHONE
- SMH SANITARY MANHOLE
- VI VALVE
- WV WATER VALVE
- GV GAS VALVE
- FH FIRE HYDRANT
- CB CATCH BASIN
- LM LIGHT METER
- LP LIGHT POLE
- PP POWER POLE
- DB DEED BOOK
- PG PAGE

**FORSYTH COUNTY COMMERCIAL SITE PLAN NOTES**

1. IRRIGATION SYSTEMS ARE PROHIBITED ON ALL EXISTING AND PROPOSED COUNTY RIGHTS-OF-WAY AND CONSIDERED TO BE VIOLATION OF THE COUNTY'S ORDINANCE PROHIBITING UNDESIRABLE RIGHTS-OF-WAY ENCROACHMENTS.
2. NO STRUCTURES, FENCES OR OTHER OBSTRUCTIONS MAY BE LOCATED WITHIN A DRAINAGE OR ACCESS EASEMENT WITHOUT PRIOR APPROVAL BY THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING.
3. APPROVAL OF THESE PLANS BY FORSYTH COUNTY IS SUBJECT TO AND CONTINGENT UPON THE OBTAINING AND ALL NECESSARY APPROVALS FROM ANY AGENCIES INCLUDING, BUT NOT LIMITED TO, THE UNITED STATES AIR FORCE ENGINEERS, THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY, THE U.S. ARMY CORPS OF ENGINEERS, THE GEORGIA DEPARTMENT OF NATURAL RESOURCES, THE GEORGIA ENVIRONMENTAL PROTECTION DIVISION AND THE GEORGIA WILDLIFE AND CONSERVATION COMMISSION.
4. ALL UNDISTURBED AREAS SHALL BE UNDISTURBED WITH A FOUR-FOOT FREE SAVING FENCE PER ANY LAND DISTANCE (O.C. SEC. 18-10-1). REINFORCED CONCRETE OR STAINING WALL OR MODULAR RETAINING WALL (DESIGNS) MUST BE SUBMITTED TO THE FORSYTH COUNTY DEPARTMENT OF ENGINEERING FOR APPROVAL PRIOR TO CONSTRUCTION. WALL DESIGN MUST INCLUDE DETAILS AND SPECIFICATIONS THAT ARE SITE SPECIFIC AND MUST BE REVIEWED AND SEALED BY A REGISTERED ENGINEER IN THE STATE OF GEORGIA. WALLS GREATER THAN THIRTY (30) INCHES IN HEIGHT SHALL INCLUDE A RAMP OR HANDRAIL ON THE TOP.
5. NO OUTSIDE STORAGE IS PROPOSED WITH THIS DEVELOPMENT.
6. DUMPSTER WALL CONSTRUCTION, DECORATIVE ENTRANCE WALLS AND RETAINING WALLS REQUIRE A SEPARATE PERMIT.

NOTE: NOTIFY FORSYTH COUNTY INSPECTOR 24 HOURS BEFORE THE BEGINNING PHASE OF CONSTRUCTION. CALL (770) 781-2165

**DEVELOPMENT SUMMARY - PROPOSED**

GENERAL	
DEVELOPMENT TYPE	COMMERCIAL - RETAIL
ZONING	CBD
PARCEL NUMBER	064-023
OVERLAY DISTRICT	ATLANTA HIGHWAY-MCFARLAND PARKWAY MULLINAX ROAD OVERLAY DISTRICT
LOT SIZE	
GROSS LAND AREA	79,362 SF (1.82 ACRES)
BUILDING	
COVERAGE	24.6%, 19,555 SF
MAX. HEIGHT	30 FT
NUMBER OF STORIES	1 STORY W/BASEMENT
FLOOR AREA	1ST FLOOR (RETAIL), 19,555 SF BASEMENT (RECEIVING), 9,888 SF
LANDSCAPE OPEN SPACE	
MINIMUM REQUIRED	25%, 19,841 SF
PROPOSED	25.9%, 20,090 SF
PARKING	
REQUIRED	FEE STANDING RETAIL - 3 MAX. 2 MIN. PER 1000 GFA 88 SPACES MAX., 59 SPACES MIN. PER (29,443 GFA)
PROPOSED	66 SPACES (3 ACCESSIBLE SPACES)
BICYCLE PARKING	
MINIMUM REQUIRED	2 SPACES
PROPOSED	2 SPACES
ON-SITE LOADING SPACES	
MINIMUM REQUIRED	2 LOADING SPACES (12'X55'X14' HEIGHT CLEARANCE)
PROPOSED	2 LOADING SPACES (12'X55'X14' HEIGHT CLEARANCE)

**SITE PLAN NOTES**

1. EXISTING TREE CANOPY COVERS THE MAJORITY OF THE PROPERTY

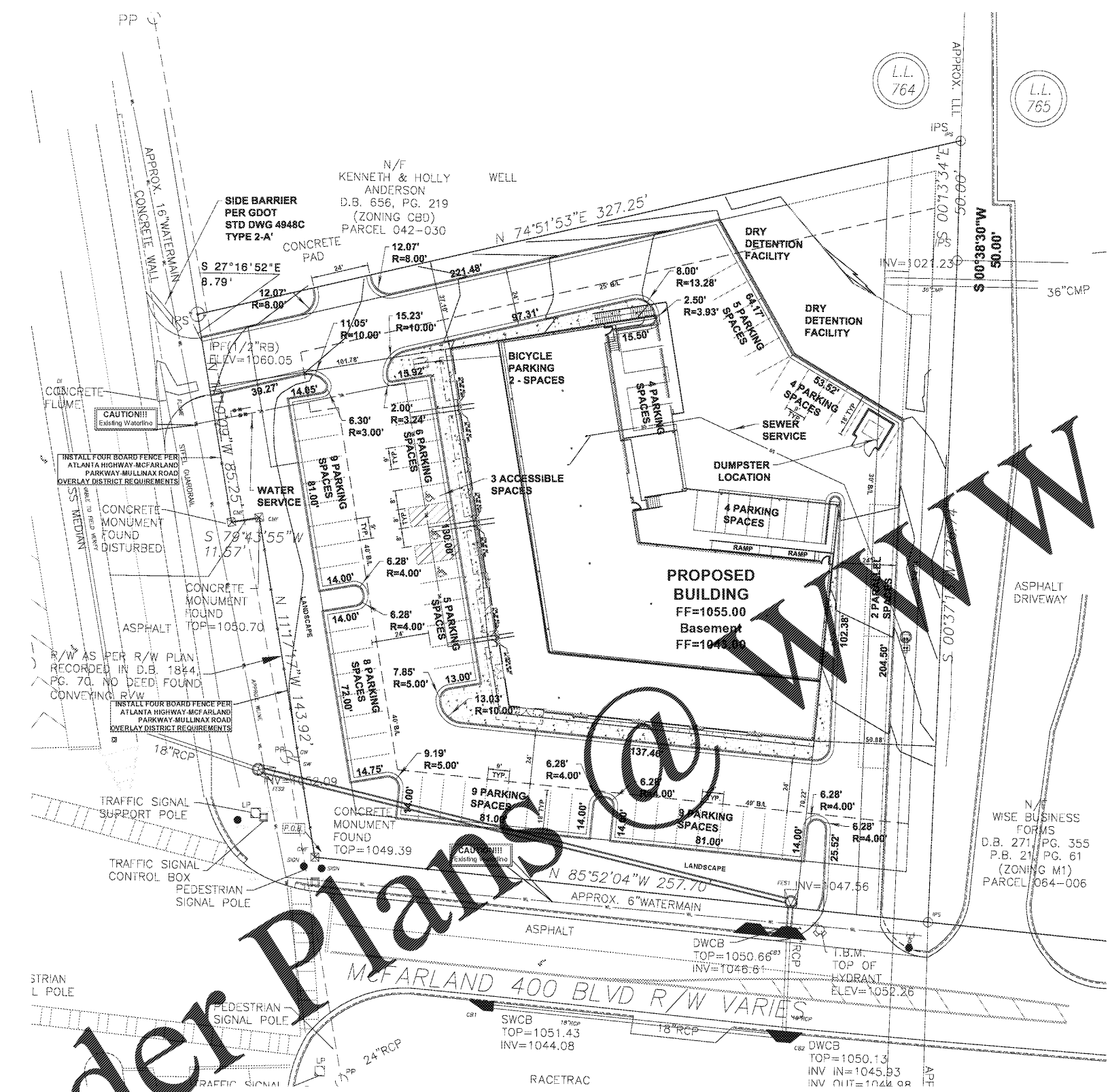


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**IT'S THE LAW**

**SITE PLAN**

PROJECT NO.	201902
DATE	01/15/2019
SCALE	1" = 20'

C4.01



CBD PERFORMANCE STANDARDS			
STANDARD	ALLOWED	PROPOSED	NOTES
Max bldg coverage %	70%	24.6%	MET
Max height (stories)	5	1	MET
Min landscaped open space %	25%	25%	MET
Min front landscape strip	25 feet	25 feet	MET (OVERLAY DISTRICT REQUIREMENT)
Min setback abutting right-of-way	40 feet	40 feet	MET
Min side setback	25 feet	25 feet	MET
Min rear setback	10 feet	10 feet	MET

**Disclaimer**  
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