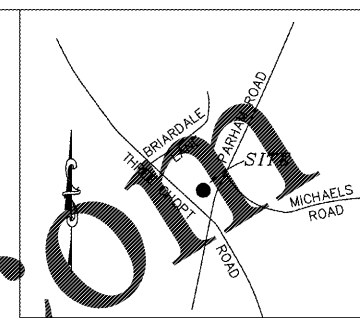


LEGAL DESCRIPTION

BEGINNING AT A POINT, MARKED P.O.B., BEING THE INTERSECTION OF THE NORTH LINE OF THREE CHOPT ROAD AND THE WEST LINE OF PARHAM ROAD; THENCE ALONG THE SAID NORTH LINE OF THREE CHOPT ROAD THE FOLLOWING TWO COURSES: ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 1179.00', A LENGTH OF 77.86', A CHORD BEARING OF N 49°52'10" W AND A CHORD OF 77.85 TO A POINT; THENCE N 51°45'41" W, 338.29' TO A POINT; THENCE LEAVING THE SAID NORTH LINE OF THREE CHOPT ROAD N 57°08'14" E, 478.55' TO A POINT; THENCE S 20°35'43" W, 99.49' TO A POINT; THENCE S 14°02'34" W, 100.00' TO A POINT; THENCE S 65°46'26" E, 152.20' TO A POINT ON THE WEST LINE OF PARHAM ROAD; THENCE ALONG THE SAID WEST LINE OF PARHAM ROAD THE FOLLOWING THREE COURSES: S 23°57'20" W, 120.26' TO A POINT; THENCE S 17°31'52" W, 76.01' TO A POINT; THENCE S 45°06'15" W, 119.35' TO THE POINT AND PLACE OF BEGINNING CONTAINING 2.590 ACRES.



VICINITY MAP
NOT TO SCALE

CSB ELEVATIONS:
TOP=255.87
INV. IN=246.52
INV. IN=248.75
INV. OUT=246.42

NOTES

- OWNERSHIP:
RICHARD I. PRUITT FAMILY PROPERTY V, LLC
D.B. 5108 PG. 133
GPIN: 754-747-0694
- THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE COMMITMENT PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. SHTC17-627 DATED MAY 30, 2017
- EXCEPTIONS OF SCHEDULE B-SECTION II OF THE ABOVE REFERENCED TITLE COMMITMENT:
1.) NOT ADDRESSED
2.) NOT ADDRESSED
3.) NOT ADDRESSED
4.) NOT ADDRESSED
5.) NOT ADDRESSED
6.) SHOWN HEREON
7.) VEPCO POLE LINE EASEMENT IN D.B. 240A PG. 476 - MAY PERTAIN TO THE SUBJECT PROPERTY BUT CANNOT BE PLOTTED
8.) VEPCO POLE LINE EASEMENT IN D.B. 817 PG. 210 - MAY PERTAIN TO THE SUBJECT PROPERTY BUT CANNOT BE PLOTTED
9.) DRAINAGE EASEMENT IN D.B. 1328 PG. 653 - SHOWN HEREON MAY PERTAIN TO THE SUBJECT PARCEL BUT CANNOT BE PLOTTED
10.) LEASE AGREEMENT IN D.B. 909 PG. 449, D.B. 1407 PG. 259, D.B. 1408 PG. 704 AND D.B. 1541 PG. 474 PERTAINS TO THE SUBJECT PROPERTY BUT CANNOT BE PLOTTED LEASE LINE SHOWN HEREON
11.) SEWER AGREEMENT IN D.B. 1401 PG. 339 - PERTAINS TO THE SUBJECT PROPERTY BUT CANNOT BE PLOTTED
12.) LEASE AGREEMENT IN D.B. 3388 PG. 2346 - PERTAINS TO THE SUBJECT PROPERTY BUT CANNOT BE PLOTTED
13.) DECLARATIONS AND RESTRICTIONS IN D.B. 3388 PG. 2346 - PERTAINS TO THE SUBJECT PROPERTY BUT CANNOT BE PLOTTED
- THIS PROPERTY IS IN ZONE 'X' OF THE FEMA DEFINED FLOOD HAZARD AREA AS SHOWN FLOOD INSURANCE RATE MAP NUMBER 51087C0105C DATED 12-18-07
- DURING THE PROCESS OF OUR PHYSICAL IMPROVEMENT SURVEY NO INDICATIONS OF A CEMETERY WERE FOUND. NO FURTHER INSPECTION OF THE PROPERTY HAS BEEN MADE FOR POSSIBLE CEMETERIES.
- ZONING SETBACKS PER THE COUNTY OF HENRICO B-1 & R-3 ZONING:
REFER TO COUNTY ZONING ORDINANCE FOR SETBACKS
- DATUM: HORIZONTAL - NAD 83
VERTICAL - NAVD 88

NOTE: COUNTY SURVEY MONUMENT 113A WAS USED IN THE CONDUCT OF THIS SURVEY. THE MONUMENT IS LOCATED APPROXIMATELY 450 FEET TO THE SOUTH OF THE INTERSECTION OF PARHAM ROAD AND THREE CHOPT ROAD

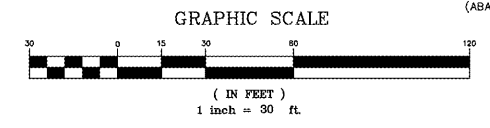


LEGEND

- MAILBOX
- SHRUB
- TREE
- ⊥ SIGN
- ⊙ DRAINAGE MANHOLE
- BOLLARD
- ◇ CABLE T.V. PED.
- TRAFFIC BOX
- ⊞ WATER METER
- ⊙ SANITARY SEWER
- ⊙ SANITARY SEWER CLEANOUT
- ⊞ WATER VALVE
- ⊞ GAS VALVE
- ☆ LIGHT POLE
- ⊙ UTILITY POLE
- ⊙ GUY WIRE
- ⊙ FIRE HYDRANT
- ⊙ MONITORING WELL
- OHE OVERHEAD ELECTRIC
- OHT OVERHEAD TELEPHONE
- UGE UNDERGROUND ELECTRIC
- UGT UNDERGROUND TELEPHONE
- G UNDERGROUND GAS
- W UNDERGROUND WATER
- UTL UNDERGROUND TRAFFIC
- OCATV OVERHEAD CABLE T.V.

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	1179.00'	77.86'	N49°52'10"W	77.85'



SURVEY PROVIDED BY
JENNINGSTEPHENSON, P.C.
ON JUNE 27, 2017