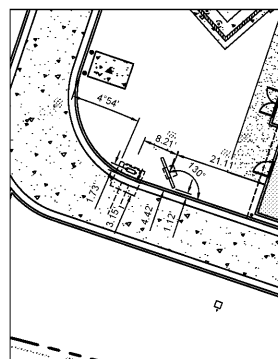
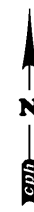
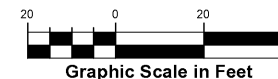


PANDA EXPRESS STANDARD NOTES

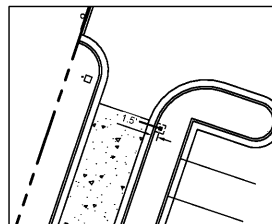
1. THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON, DATED 11/1/17 AND ANY SUBSEQUENT ADDENDUMS IS CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.
2. CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

24 HOUR CONTACT:
PANDA PM

JOE CELENTO
(912) 272-4811



MENU BOARD AND ORDER CANOPY
1" = 20"



CLEARANCE BAR
1" = 20"



THANK YOU SIGN
1" = 20"

SITE DATA INFORMATION:

SITE PARCEL NUMBERS:

FOLIO: 167445-0410
SECTION - 21 / TOWNSHIP - 2 S / RANGE - 28 E

ON-SITE LAND INFORMATION:

CURRENT LAND USE: RPI
PROPOSED LAND USE: RPI

CURRENT ZONING: PUD
PROPOSED ZONING: PUD

AREA OF PROPOSED IMPROVEMENTS: 46,918 S.F. (100%)

DEVELOPMENT TYPE: RESTAURANT WITH DRIVE-THRU

ADJACENT LAND INFORMATION:

| | | | | |
|-----------------|-------|------|---------------|------|
| EXISTING ZONING | NORTH | EAST | SOUTH | WEST |
| | PUD | PUD | ATLANTIC BLVD | PUD |

FLOOD ZONE INFORMATION:

HAS BEEN CONSIDERED THE NATIONAL FLOOD INSURANCE PROGRAM. PROPERTY LIES WITHIN FLOOD ZONE. PER FLOOD INSURANCE RATE MAP NO. 12031C0403H DATE: 06/03/2013

BUILDING INFORMATION:

| | | | |
|---|------------|--|-------------------------|
| BUILDING AREA: | 2,200 S.F. | | |
| BUILDING USE: | | | RESTAURANT W/DRIVE THRU |
| MAXIMUM BUILDING HEIGHT (CITY CODE): | 50' | | |
| ACTUAL BUILDING HEIGHT (ONE STORY): | 23'-6" | | |
| MAX IMPERVIOUS RATIO PER SJRWMD PERMIT #40-031-17877-18 | 80% | | |

PERVIOUS / IMPERVIOUS OPEN SPACE AREAS:

| | | | |
|------------------|-------------|-------------|-----------|
| PRE DEVELOPMENT: | | | |
| PERVIOUS AREA: | 46,918 S.F. | (1.08 A.C.) | (100%) |
| IMPERVIOUS AREA: | 0 S.F. | (0.00 A.C.) | (0%) |
| TOTAL SITE AREA: | 46,918 S.F. | (1.08 A.C.) | (100.00%) |

POST DEVELOPMENT:

| | | | |
|------------------|-------------|-------------|-----------|
| PERVIOUS AREA: | 17,172 S.F. | (0.40 A.C.) | (36.60%) |
| IMPERVIOUS AREA: | 29,746 S.F. | (0.68 A.C.) | (63.40%) |
| TOTAL SITE AREA: | 46,918 S.F. | (1.08 A.C.) | (100.00%) |

PARKING INFORMATION:

PARKING REQUIRED:

USE TYPE:
1 SPACE PER 4 SEATS + 1 SPACE PER 2 EMPLOYEES
(86 SEATS (INCLUDING OUTDOOR SEATING) / 4 SEATS) +
(16 EMPLOYEES / 2 EMPLOYEES) = 30 SPACES

MAXIMUM ALLOWANCE OF 20% OVER THE REQUIRED PARKING
30 SPACES X 20% = 6 ADDITIONAL SPACES = 36 MAXIMUM SPACES ALLOWED

PARKING SPACES PROVIDED = 36 (INC. 2 ADA SPACES)

BICYCLE PARKING INFORMATION:

PARKING REQUIRED:

USE TYPE:
10% OF REQUIRED PARKING SPACES
36 REQUIRED SPACES X 10% = 4 BICYCLE SPACES

BICYCLE SPACES PROVIDED = 7

BLDG. SETBACKS AND LANDSCAPE BUFFERS:

BLDG. SETBACKS:

| | NORTH | SOUTH | EAST | WEST |
|-----------|---------|--------|--------|--------|
| REQUIRED: | 10' | 20' | 10' | 10' |
| PROVIDED: | 177.13' | 36.09' | 55.86' | 70.81' |

LANDSCAPE BUFFERS:

| | NORTH | SOUTH | EAST | WEST |
|-----------|--------|--------|-------|------|
| REQUIRED: | 5' | 10' | 5' | 5' |
| PROVIDED: | 15.73' | 20.32' | 8.67' | 7' |

LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- LANDSCAPE BUFFER
- SIDEWALK
- CONCRETE
- STANDARD DUTY CONCRETE PAVEMENT
- PARKING SPACE COUNT
- ▤ HANDICAP RAMP 1:12 SLOPE (MAX)
- ⊙ SITE LIGHTING

NOTE:
ITEMS SHOWN SCREENED REPRESENT EXISTING CONDITIONS. ITEMS SHOWN BOLD REPRESENT PROPOSED CONDITIONS.

NOTES:

1. CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF WORK FROM THE SITE. BURIAL OF TREES AND OTHER DEBRIS SHALL NOT BE ALLOWED.
2. ALL MATERIAL SHALL BE NEW, UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
3. CONTRACTOR TO PROVIDE CONCRETE PAVING BETWEEN CASE OF BUILDING AND BACK OF CURB ALONG DRIVE-THRU LANE AND ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING.



PANDA RESTAURANT GROUP INC.
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91770
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Facsimile: 626.372.8288

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REVISIONS:

ARCH/CIVIL/OWNER COORD. 01/30/19

ISSUE DATE:

ISSUED FOR BID 01/30/19

DRAWN BY: P. Ranucci

PANDA PROJECT # S8-19-D6573

ARCH PROJECT # P7336

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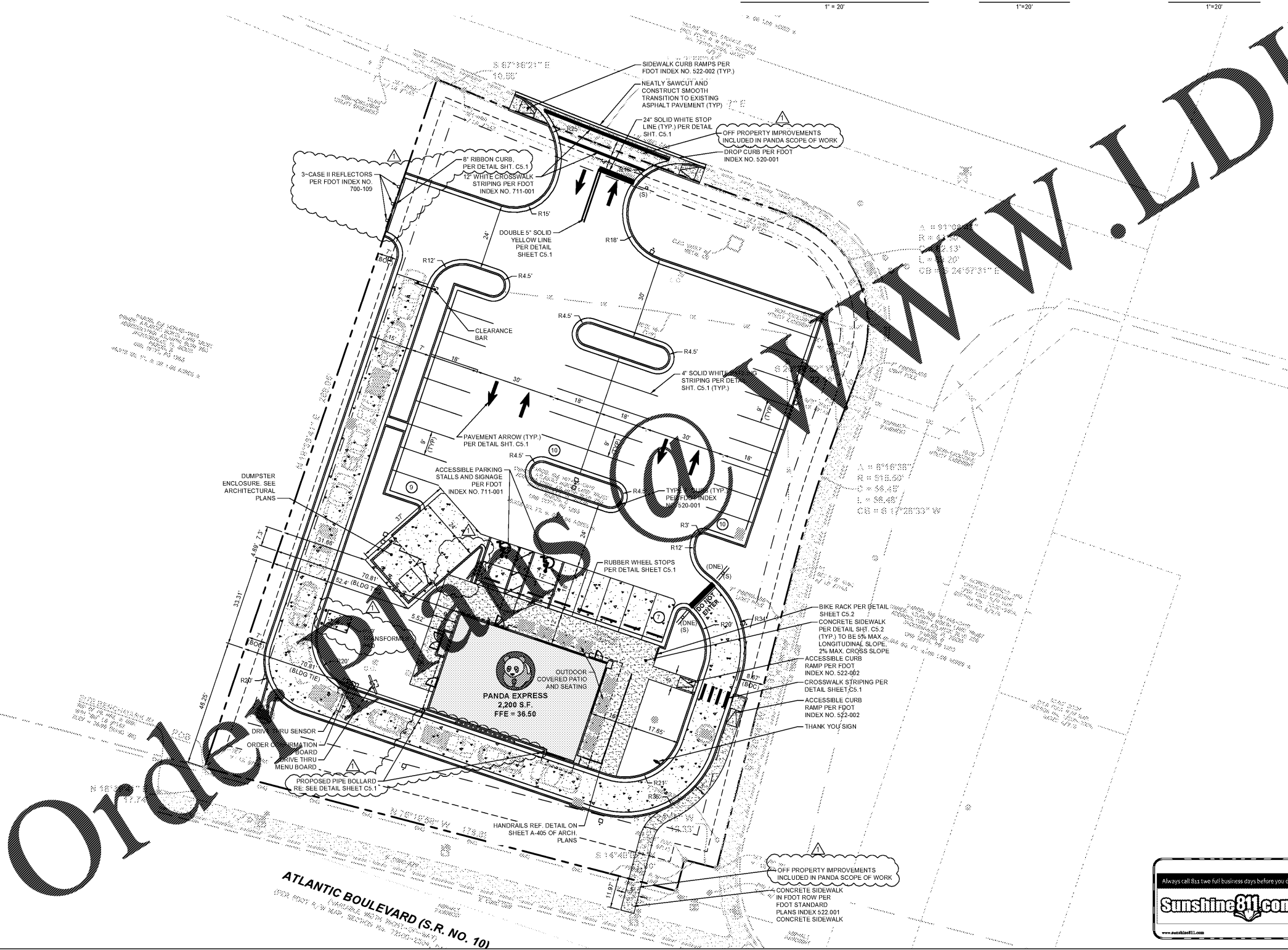
PANDA EXPRESS

TRUE WARM & WELCOME 2200
ATLANTIC & KERNAN
CITY OF JACKSONVILLE, FLORIDA

C1.3

SITE DIMENSION PLAN

TRUE WARM & WELCOME 2200



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