



### GENERAL NOTES

RELATED DOCUMENTS: This Drawing is a single part of an integrated set of Construction Contract Documents, the General Conditions of the Contract, the General Requirements, (Division 1 of the Specifications), applicable requirements of Division 2 (the Division 18 Sections of the Specifications, and other Drawings may apply to the work described on this drawing). Refer to these other documents for complete project information.

COMPLY WITH all laws, codes and ordinances of authorities having jurisdiction, and with requirement of the Landlord, if applicable.

VERIFY ACTUAL CONDITIONS and dimensions prior to construction. Commencement of work constitutes verification and acceptance of existing conditions.

CALCULATE AND MEASURE required dimensions, do not scale the drawings unless otherwise directed.

APPLICATION of a material or equipment item to work installed by others constitutes acceptance of that work, and assumption of responsibility for satisfactory installation.

DIMENSIONS shown are to finish face of a material, unless otherwise indicated.

### PROJECT CONTACT

THOM TOBEN  
EMAIL: TLTOBEN@ST2D.COM  
PH: 913.649.6037  
CELL: 913.485.6037

### IN ASSOCIATION WITH

JAMES A. LICHTY, ARCHITECT  
I HEREBY CERTIFY that these plans and specifications were prepared by me or under my direct supervision and to the best of my knowledge comply with all local, state and federal regulations and that I am a duly registered ARCHITECT under the laws of:

STATE: LOUISIANA  
SEAL NUMBER: 3686  
DATE:

### REVISIONS AND NOTATIONS

NO.	DESCRIPTION	DATE

### DATE

4 FEBRUARY 2019

### DRAWING TITLE

DEMOLITION FLOOR PLAN  
DEMOLITION CEILING PLAN  
DEMOLITION KEYNOTES  
GC RESPONSIBILITY NOTES

### DRAWING NUMBER

AD1.0

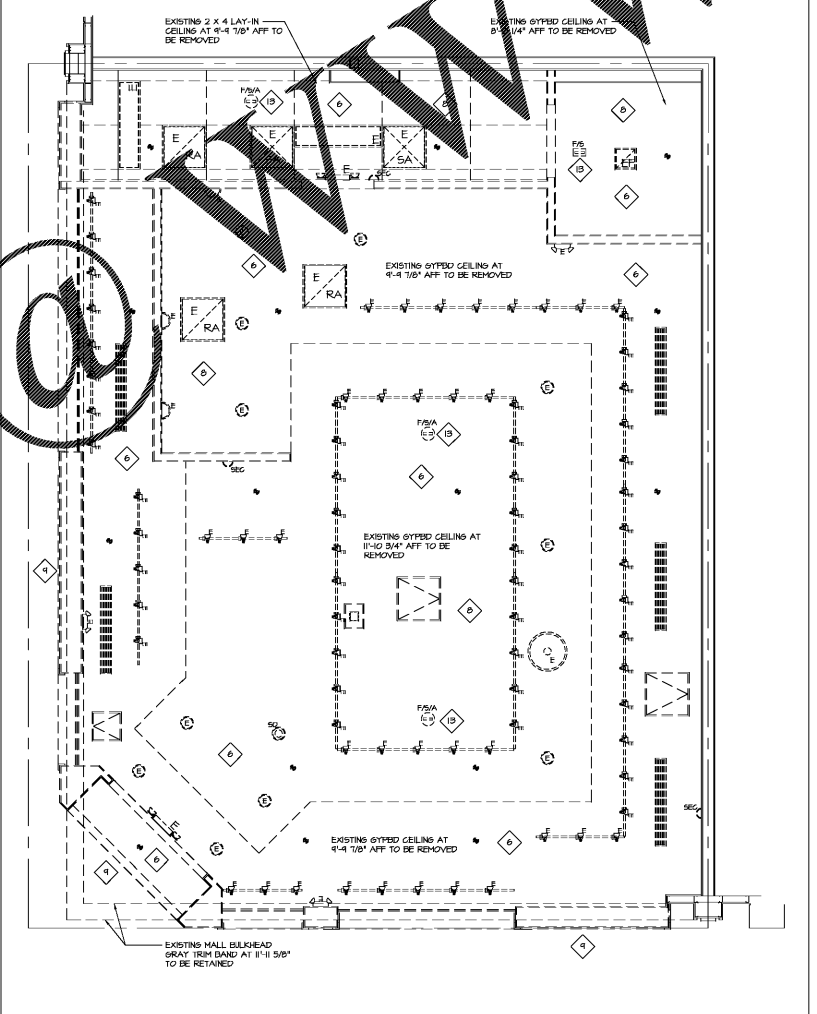
### DEMOLITION KEYNOTES:

- 10 REMOVE EXISTING WOOD PLANK FLOORING AND WOOD BASE IN SALES AREA. SCRAPE AND CLEAN SLAB TO RECEIVE NEW KARNDEN VINYL FLOORING MATERIALS - REPAIR ALL SUBSTRATE FLOORING AS REQUIRED TO INSURE A SMOOTH BLEMISH FREE INSTALLATION OF THE NEW FLOORING MATERIALS. FLOAT SUBSTRATE AS REQUIRED AT ENTRY TO ACHIEVE A LEVEL TRANSITION AT CHANGE OF MATERIALS. REFER TO MATERIAL SCHEDULE FOR NEW FLOORING MATERIALS.
- 11 REMOVE AND REPAIR ANY MALL PORCELAIN TILE FLOORING ADJACENT TO THE LEASE LINE THAT IS DAMAGED DURING CONSTRUCTION OR IS IN NEED OF REPAIR. CONFIRM WITH MALL OPERATIONS AVAILABILITY OF REPLACEMENT TILE PRIOR TO REMOVAL OF ANY TILE.
- 12 REMOVE ALL EXISTING ELECTRICAL WALL OUTLETS, FLOOR MONUMENTS OR STUB AND DATA OR PHONE OUTLETS AS INDICATED. RETAIN ONLY THOSE SHOWN ON ELECTRICAL DRAWINGS
- 13 REMOVE EXISTING THERMOSTAT AND REPLACE WITH NEW UNIT IN ACCORDANCE WITH MALL CRITERIA FOR AHU - RELOCATE AS PER A.I.O. AND MECHANICAL PLANS
- 14 EXISTING FIRE ALARMS AND STROBES TO BE RETAINED AND REINSTALLED AS PER MALL REQUIRED ALARM SUBCONTRACTOR. GC TO VERIFY PROPER HOOK-UP AND WORKING ORDER
- 15 EXISTING PHONE AND DATA SYSTEM WIRING TO BE RETAINED AT THE POINT OF ENTRY INTO THE SPACE
- 16 REMOVE EXISTING VGT FLOORING AND VINYL BASE IN SUPPORT AND RESTROOM AREA. SCRAPE AND CLEAN SLAB TO RECEIVE NEW VGT FLOORING MATERIALS - REPAIR ALL SUBSTRATE FLOORING AS REQUIRED TO INSURE A SMOOTH BLEMISH FREE INSTALLATION OF THE NEW FLOORING MATERIALS. FLOAT SUBSTRATE AS REQUIRED TO ACHIEVE A LEVEL TRANSITION AT CHANGE OF MATERIALS. REFER TO MATERIAL SCHEDULE FOR NEW FLOORING MATERIALS.
- 17 REMOVE ALL EXISTING FLOOR OR WALL CASEWORK AND ANY DISPLAY FIXTURES LEFT BY PREVIOUS TENANT AND PROVIDE FOR PROPER DISPOSAL, ACCORDING TO CITY CODES AND LANDLORD REQUIREMENTS
- 18 REMOVE ALL EXISTING WALL FINISHES, ACCESSORIES, TRIMMINGS, MOLDINGS OR MIRRORS FROM ALL WALL SURFACES. REMOVE AND REPLACE ANY EXISTING GYPSOBOARD SUBSTRATE ON RETAINED DEMISING WALLS THAT IS DAMAGED OR IN UNUSABLE CONDITION. PROVIDE BLOCKING AS REQUIRED FOR FIXTURE INSTALLATION. ALL WALLS TO BE RETURNED TO LIKE NEW CONDITION.
- 19 REMOVE EXISTING WALLS AS INDICATED ON THE DEMOLITION PLANS AND CONSTRUCT NEW WALLS AS INDICATED ON THE ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS
- 20 REMOVE EXISTING DOOR(S) AND FRAME(S) AS INDICATED ON THE DEMOLITION PLANS
- 21 REMOVE EXISTING GYPSOBOARD AND LAY-IN TILE CEILINGS, GYPSOBOARD DROP SOFFITS, RECESSED LIGHTING, PENDANT LIGHTS, SCORE DEIGHTS, TRACK LIGHTING FIXTURES, MECHANICAL GRILLS AND FIRE PROTECTION OR SECURITY ITEMS AS INDICATED OR REQUIRED FOR NEW CONSTRUCTION
- 22 REMOVE EXISTING LAVATORY, WATER CLOSET AND INSTANT WATER HEATER AND REPLACE AND RELOCATE PER PLANS AND PLUMBING PLANS. FLOOR REPAIRS IN AREA OF REMOVAL TO BE MADE IN ACCORDANCE WITH LANDLORD REQUIREMENTS
- 23 REMOVE ALL MATERIALS FROM WITHIN WALLS, FLOOR AND ABOVE CEILING AREAS THAT ARE NOT USED IN TENANT CONSTRUCTION. REMOVE ALL ELECTRICAL, PLUMBING, MECHANICAL COMPONENTS NOT SHOWN IN CONSTRUCTION NOT LEAVE ABANDONED MATERIAL WITHIN THE LEASE SPACE.
- 24 REMOVE ALL ACCESSORIES, TRIM, MOLDINGS, GLAZING, SIGNAGE, SIGNBOARD MATERIALS AND ALL EXISTING FINISHES FROM EXISTING STOREFRONT COMPLEX. PROJECT LANDLORDS ADJACENT NEUTRAL PIERS, CEILINGS AND LIGHT FIXTURES FROM DAMAGE DURING REMOVAL. ANY DAMAGED ITEMS SHALL BE RESTORED TO LIKE NEW CONDITION IN ACCORDANCE WITH LANDLORD CRITERIA

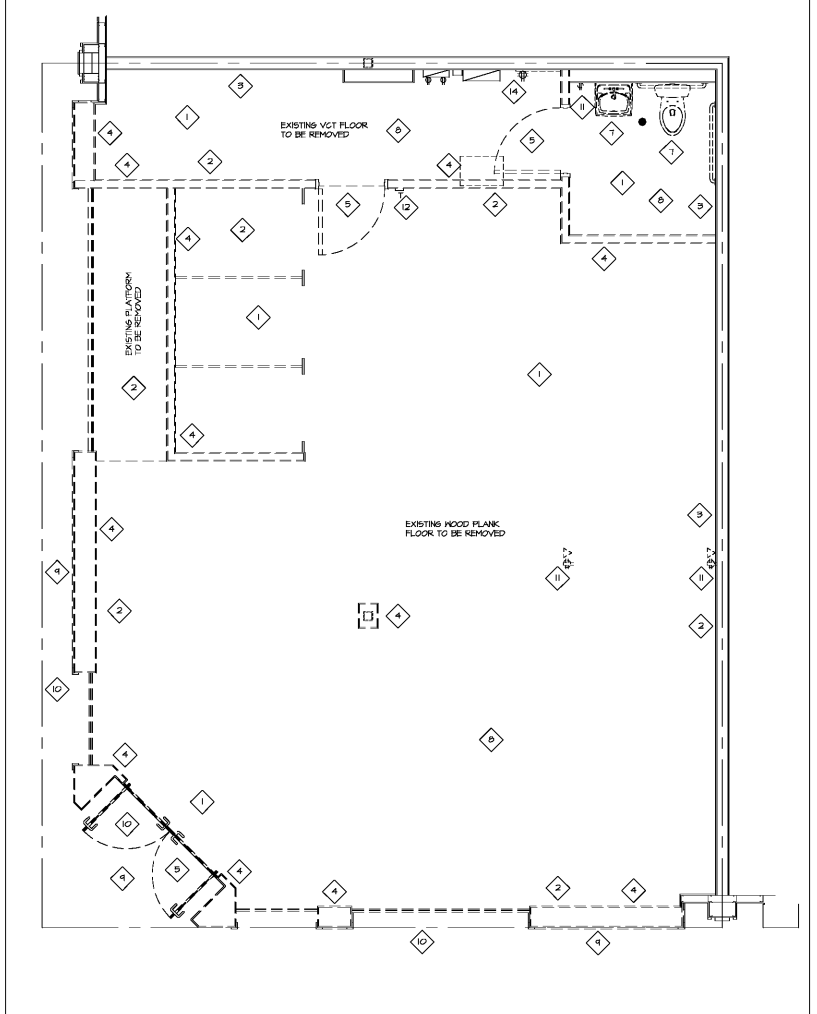
- NOTE: GENERAL CONTRACTOR SHALL, WHENEVER POSSIBLE AND TO THE BEST OF HIS ABILITY RECYCLE DEMOLITION MATERIALS AND SCRAP BUILDING SUPPLIES
- NOTE: GENERAL CONTRACTOR SHALL FIELD VERIFY EXACT SCOPE OF DEMOLITION REQUIRED WITH THE TENANT PRIOR TO BIDDING AND CONSTRUCTION.
- NOTE: GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CLEARANCE HEIGHTS TO EXISTING CEILING AND ABOVE EXISTING CEILING. IF A CONFLICT EXISTS WITH NEW DESIGN CEILING, HVAC, SPRINKLER, ETC DESIGNS CONTACT THE DESIGNER IMMEDIATELY
- NOTE: GENERAL CONTRACTOR SHALL VERIFY ALL MATERIALS TO BE DEMOLISHED ARE ASBESTOS-FREE. IF ASBESTOS CONTAINING MATERIALS ARE FOUND, LEAVE MATERIALS IN PLACE AND CONTACT OWNER IMMEDIATELY.

### GENERAL DEMOLITION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF THE LANDLORD'S CRITERIA PRIOR TO CONSTRUCTION. FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY.
2. ANY EXISTING ELECTRICAL UTILITIES TO BE REMOVED SHALL BE DISMANTLED BACK TO POINT OF ORIGIN FOR POWER SERVICE.
3. OWNER RESERVES THE RIGHT TO RETAIN ANY OR ALL EXISTING ITEMS. (CONTRACTOR SHALL VERIFY WITH OWNER). ALL OTHER MATERIALS AND DEBRIS SHALL BE REMOVED PER LANDLORD'S CRITERIA.
4. REMOVE ALL EXISTING FINISH MATERIALS AND SUBSTRATES NOT REUSABLE DOWN TO EXPOSED STUDS, CONCRETE OR STRUCTURE.
5. REFER TO SECTION 02070 OF THE SPECIFICATIONS (SHEET S10) FOR ADDITIONAL NOTES.
6. CONTRACTOR SHALL THOROUGHLY VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION. ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE DOCUMENTS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
7. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND ENSURE THAT THE DEMOLITION DOES NOT INTERFERE WITH THE NEW DESIGN CONCEPT.
8. CONTRACTOR SHALL ENSURE THAT NO DAMAGE IS DONE TO THE REMAINING PARTS OF BUILDING.
9. CONTRACTOR SHALL ENSURE THAT EXISTING SPRINKLER SYSTEM AND FIRE ALARM SYSTEM IS ADAPTED TO THE NEW DESIGN AND MUST COORDINATE ALL WITH ELECTRICAL, MECHANICAL AND PLUMBING.
10. EXISTING ELECTRICAL SERVICE TO REMAIN. T&C SHALL REPAIR OR REFURBISH AT REQUIRED TO CURRENT ELECTRICAL CODE REQUIREMENTS AS NECESSARY.



2 DEMOLITION CEILING PLAN  
SCALE: 1/4"=1'-0"



DEMOLITION FLOOR PLAN  
SCALE: 1/4"=1'-0"

Cover return air openings before and during construction.

Do not abandon any utilities or materials within lease space. Remove back to source.

Provide temporary construction barricade prior to commencement of construction, per instruction of local Brookfield Properties, authority. Do not fasten to mall finish material

Waterproof membrane must be water tested and approved by On-Site Operations Manager.

All floor penetrations must be sieved and sealed liquid tight.

Support wires for lay-in ceiling grid must not be connected to any of the Landlord's mechanical, Electrical, plumbing or fire protection piping or equipment.

Sprinkler heads at gypsum board ceilings must be fully recessed and covered with metal plates finished to match adjacent surface. Center sprinkler heads in ceiling tiles where applicable.

Access panels in ceiling must be located to provide access to Landlord's mechanical equipment per on-site Operations Manager.

Match Mall tile to centerline of storefront closure.

We are committed to sustainable design construction practices, and operations. We encourage Tenants to participate through voluntary incorporation of the following strategies:

- IMPROVE INDOOR AIR QUALITY**
- REDUCE construction dust & air particulates with dust containment systems and/or shut off circulating air.
  - SEAL-OFF all HVAC ductwork for re-use and clean prior to occupancy.
  - USE cleansers and maintenance products that are eco-friendly.

We are committed to sustainable design construction practices, and operations. We encourage Tenants to participate through voluntary incorporation of the following strategies:

- DIVERT CONSTRUCTION WASTE FROM LANDFILLS**
- SEGREGATE demolition and construction waste and maximize RECYCLING of items such as ceiling tiles, fluorescent light ballasts, and other electrical fixtures.
  - REUSE materials such as light downrods, plumbing, and store fixtures, etc.
  - DONATE materials to the ReStore Program, which benefits the local community. Coordinate with Mall Tenant Coordinator and Mall Operations Manager

All Landlord notes and comments must appear on final revised drawings and must appear on all drawings in the field.

Tenant Contractor shall perform first-class workmanship. Acceptance is contingent upon Landlord Approval.

Tenant Contractor will repaint and/or repair Landlord property (neutral piers, bulkhead, rear corridor, etc.) damaged during Tenant improvements.

**HAZARDOUS SUBSTANCE**  
It is the responsibility of the Tenant and the Tenant's Contractor (s), when preparing for and proceeding with construction in the premises, to comply with all requirements of all applicable laws concerning hazardous substances. The Tenant shall not permit the installation or use of any hazardous substances in any component of the premises during its tenancy.

**ADA Compliance**  
Tenant's leased premises must comply with Title III of the Americans with Disabilities Act (ADA). Compliance will include, but not limited to, the design, construction and/or alteration of the leased premises. Upon completion of work, Tenant or Tenant's Architect must supply to Landlord a letter, satisfactory to Landlord, stating that the leased premises have been designed and constructed in accordance and are in compliance with the ADA.

Tenant is liable for compliance with all requirements of Landlord's fire protection engineers during original construction and all subsequent field inspections.

Any penetrations of or modifications to structural steel or concrete must be coordinated with on-site Mall Operations Manager.

M.E.P. Electrical, H.V.A.C., plumbing drawings are required for final review. These drawings must be stamped by a licensed engineer.

Existing partitions must be removed. Fire-rated "X" retrofits, doors and sealed air tight doors are required.

Floor transitions must be flush. Vinyl or rubber reducer strips not permitted in customer areas. May use metal terrazzo strips.

# Owner Plans