

NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED AND TO THE SURVEYOR'S BEST KNOWLEDGE ARE APPROXIMATELY AS SHOWN. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

2. I HAVE EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR GWINNETT COUNTY, GEORGIA AND INCORPORATED AREAS, COMMUNITY PANEL NUMBER 13135C0066H, PANEL 66 OF 155, EFFECTIVE DATE MARCH 4, 2013 AND FOUND NO PORTION OF THE PROPERTY SHOWN HEREON TO FALL WITHIN A DESIGNATED FLOOD ZONE "A" (AREAS OF 100 YEAR FLOOD).

3. THE ORTHOMETRIC HEIGHTS (ELEVATIONS AND CONTOURS) SHOWN HEREON WERE DETERMINED BY GPS OBSERVATIONS AND WERE ADJUSTED BY PLANNERS AND ENGINEERS COLLABORATIVE IN JUNE 2012. NORTH AMERICAN DATUM OF 1983 (NAD83), NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDD88), GEORGIA WEST ZONE STATE PLANE COORDINATES.

4. THE TERM "CERTIFICATION" RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

5. THE UNDERGROUND UTILITIES SHOWN HEREON WERE DETERMINED BY LOCATING PAINT MARKINGS CREATED BY SUBSURFACE UTILITY INVESTIGATIONS, LLC - PHONE: (770) 557-4142.

6. THIS SITE IS ZONED C-2. NO MINIMUM LOT SIZE.

LEGEND

- IRON PIN FOUND (#4 Re-Rod unless noted otherwise)
- IRON PIN SET (#4 Re-Rod unless noted otherwise)
- IRON PIN WITH CAP FOUND
- POINT
- OPEN TOP PIPE FOUND
- CHIMP TOP PIPE FOUND
- ANGLE IRON
- PK NAIL FOUND
- PK NAIL SET
- CONCRETE MONUMENT FOUND
- RIGHT OF WAY MONUMENT FOUND
- UTILITY POLE (CARRIES MULTIPLE UTILITIES)
- POWER POLE (WOOD)
- SERVICE POLE W/ LIGHT
- POWER POLE W/ GUY WIRE
- OVERHEAD POWER / TELEPHONE LINE
- ELECTRIC METER
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- GAS METER
- STORM SEWER LINE
- SINGLE WING CATCH BASIN
- DOUBLE WING CATCH BASIN
- CURB INLET
- DROP INLET
- JUNCTION BOX
- SANITARY SEWER LINE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- TELEPHONE BOX
- TELEPHONE MANHOLE
- MONITORING WELL
- FIBER OPTIC MARKER
- UNDERGROUND WATER LINE
- UNDERGROUND GAS LINE
- UNDERGROUND ELECTRIC LINE
- UNDERGROUND TELEPHONE LINE
- UNDERGROUND CABLE LINE
- UNDERGROUND FIBER OPTIC LINE

ABBREVIATIONS

- APPROX APPROXIMATE
- BM BENCH MARK
- C&G CURB & GUTTER
- CMP CORRUGATED METAL PIPE
- CL CENTERLINE
- DB DEED BOOK
- DIP DUCTILE IRON PIPE
- DIR DIRECTION
- INV INVERT
- P.O.B. POINT OF BEGINNING
- SNCB SINGLE WING CATCH BASIN
- DNCB DOUBLE WING CATCH BASIN
- PB PLAT BOOK
- N/F NOW OR FORMALLY
- RCF REINFORCED CONCRETE PIPE
- LP LIGHT POLE
- LPP LAMP POST

LEGAL DESCRIPTION

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 284 of the 6th District, Gwinnett County, Georgia and being more particularly described as follows:

Commencing from a point located at the intersection of the Southwestern Right-of-Way line of Engineering Dr (80' Right-of-Way) and the Northwestern Right-of-Way line of Ga Hwy 141/Peachtree Pkwy (Right-of-Way Varies); Thence leaving said intersection North 80 degrees 03 minutes 51 seconds East, a distance of 400.88 feet to an iron pin set on the Southeastern Right-of-Way line of Ga Hwy 141/Peachtree Pkwy (Right-of-Way Varies), said pin being the TRUE POINT OF BEGINNING; Thence leaving said Right-of-Way line and along property now or formerly owned by 5720 Peachtree Parkway Holdings, South 52 degrees 04 minutes 05 seconds East, a distance of 473.58 feet to an iron pin found; Thence along property now or formerly owned by 5720 Peachtree Parkway Holdings North 37 degrees 39 minutes 40 seconds East, a distance of 217.07 feet to an iron pin found (1" oip); Thence along property now or formerly owned by DREIF TECK PARK, LLC South 06 degrees 04 minutes 20 seconds West, a distance of 294.08 feet to an iron pin found on the Northwestern Right-of-Way line of Technology Pkwy (80' Right-of-Way); Thence along said Right-of-Way line in a Southwesterly direction, 77.36 feet along an arc of a curve to the left, said curve having a radius of 756.20 feet and a chord bearing and distance of South 61 degrees 37 minutes 03 seconds West 77.33 feet to a point; Thence along said Right-of-Way line, 331.44 feet along an arc of a curve to the left, said curve having a radius of 756.20 feet and a chord bearing and distance of South 46 degrees 13 minutes 12 seconds West 328.79 feet to an iron pin found; Thence leaving the Northwestern Right-of-Way line of Technology Pkwy (80' Right-of-Way), along property now or formerly owned by UB (PLAID-NORCROSS) the following courses and distances: South 81 degrees 23 minutes 37 seconds West, a distance of 264.90 feet to a point; Thence North 39 degrees 02 minutes 16 seconds West, a distance of 160.07 feet to a point; Thence North 49 degrees 23 minutes 21 seconds West, a distance of 71.49 feet to an iron pin found; Thence South 62 degrees 08 minutes 50 seconds West, a distance of 402.80 feet to an iron pin found on the Southeastern Right-of-Way line of Ga Hwy 141/Peachtree Pkwy (Right-of-Way Varies); Thence along said Right-of-Way line in a Northeasterly direction, North 17 degrees 17 minutes 39 seconds East, a distance of 239.01 feet to a point; Thence continuing along said Right-of-Way, North 38 degrees 04 minutes 47 seconds East, a distance of 102.17 feet to an iron pin found; Thence continuing along said Right-of-Way, North 37 degrees 59 minutes 33 seconds East, a distance of 284.84 feet to a point; Thence continuing along said Right-of-Way, North 41 degrees 39 minutes 14 seconds East, a distance of 76.48 feet to a concrete monument found; Thence continuing along said Right-of-Way, North 41 degrees 13 minutes 05 seconds East, a distance of 82.39 feet to an iron pin found, said pin being the TRUE POINT OF BEGINNING.

Said tract containing 8.474 acres.

REFERENCES

- RIGHT-OF-WAY MAP for State D.O.T., Project Number F104-(1) dated October 11, 1965.

CERTIFICATION: I HEREBY CERTIFY THAT THIS PROPOSED PRELIMINARY PLAN CORRECTLY REPRESENTS DATA COMPILED OR VERIFIED THROUGH A SURVEY COMPLETED BY ME ON _____, 20____, OF PROPERTY SHOWN AND DESCRIBED HEREON.

BY: _____
REGISTERED LAND SURVEYOR'S NO. _____ DATE _____

PRELIMINARY PLAN / CONCEPT APPROVAL. ALL REQUIREMENTS OF PEACHTREE CORNERS ZONING ORDINANCE AND DEVELOPMENT REGULATIONS RELATIVE TO THE PREPARATION AND SUBMITTAL OF A PRELIMINARY CONCEPT PLAN HAVING BEEN FULFILLED, APPROVAL OF THIS PLAN IS HEREBY GRANTED, SUBJECT TO FURTHER PROVISIONS OF SAID ORDINANCE. THIS PRELIMINARY PLAN APPROVAL SHALL EXPIRE TWELVE (12) MONTHS FROM THE DATE OF APPROVAL PROVIDED A LAND DISTURBANCE PERMIT IS NOT ISSUED.

COMMUNITY DEVELOPMENT DEPARTMENT
DATE _____

CONTACT:

MICHAEL L. MULLEN, P.E., MBA | ENGINEERING PROJECT MANAGER
RACETRAC | RACETRAC.COM |
200 GALLERIA PARKWAY SE, STE 900, ATLANTA, GA 30339
C | 678.576.5190 O | 770.431.7600 X1577 F | 770.431.3926



TITLE EXCEPTIONS

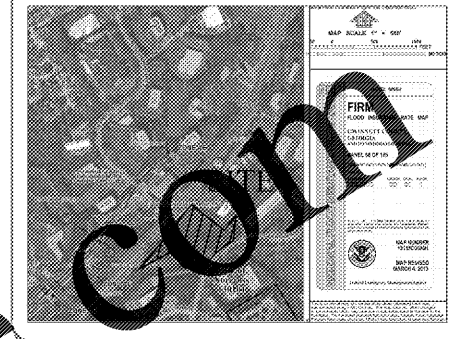
First American Title Insurance Company's Commitment number B1168.002 with an effective date of July 15, 2017 was used in the preparation of this survey and the listed exceptions are as follows:

9. Right of Way Easement from West Lumber Company to Colonial Pipeline Company, dated September 18, 1982, filed December 22, 1982 and recorded in Deed Book 190, Page 3, records of the Superior Court of Gwinnett County, Georgia; as affected by Advance Construction Damage Release, dated December 22, 1977, filed January 5, 1978 and recorded in Deed Book 1399, Page 6, aforesaid records. AFFECTS THE SUBJECT PROPERTY AS SHOWN HEREON.

10. Drainage rights contained in that certain Right of Way Deed from West Lumber Company to State Highway Department of Georgia, dated November 28, 1966, filed December 5, 1966 and recorded in Deed Book 264, Page 665, aforesaid records. AFFECT THE SUBJECT PROPERTY, ARE BLANKET IN NATURE AND CANNOT BE PLOTTED.

11. Right of Way Deed from Mrs. Helen G. Mansfield to State Highway Department of Georgia, dated April 26, 1967, filed May 17, 1967 and recorded in Deed Book 273, Page 281, aforesaid records. AFFECTS THE SUBJECT PROPERTY; CURRENT RIGHT-OF-WAY OF PEACHTREE PARKWAY.

12. Declaration of Covenants, Conditions and Restrictions by Technology Park/Atlanta, Inc., a Georgia corporation, dated July 2, 1971, filed July 8, 1971 and recorded in Deed Book 389, Page 636, aforesaid records; as amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated May 31, 1972, filed August 28, 1972 and recorded in Deed Book 541, Page 249, aforesaid records; as further amended by Notice and Amendment to Declaration of Covenants, Conditions and Restrictions, dated July 30, 1973, filed August 3, 1973 and recorded in Deed Book 704, Page 286, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated February 6, 1975, filed February 12, 1975 and recorded in Deed Book 922, Page 181, aforesaid records; as further amended by Notice and Amendment to Declaration of Covenants, Conditions and Restrictions, dated May 26, 1976, filed May 27, 1976 and recorded in Deed Book 1119, Page 170, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated July 13, 1977, filed September 20, 1977 and recorded in Deed Book 1344, Page 210, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated November 22, 1978, filed November 29, 1978 and recorded in Deed Book 1378, Page 157, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated April 15, 1980, filed April 6, 1978 and recorded in Deed Book 177, Page 21, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated September 19, 1978, filed September 27, 1978 and recorded in Deed Book 1557, Page 201, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated April 15, 1980, filed April 15, 1980 and recorded in Deed Book 1933, Page 174, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated February 19, 1981, filed March 4, 1981 and recorded in Deed Book 2127, Page 172, aforesaid records; as re-filed April 6, 1981 and re-recorded in Deed Book 2148, Page 212, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated September 15, 1981, filed September 22, 1981 and recorded in Deed Book 2254, Page 249, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated September 30, 1981, filed October 5, 1981 and recorded in Deed Book 2262, Page 295, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated as of May 1, 1984, filed June 11, 1984 and recorded in Deed Book 2803, Page 249, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated as of June 18, 1984, filed June 21, 1984 and recorded in Deed Book 2812, Page 213, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated as of August 30, 1984, filed August 31, 1984 and recorded in Deed Book 2865, Page 41, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated December 19, 1985, filed January 13, 1986 and recorded in Deed Book 3329, Page 69, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated as of April 1, 1986, filed September 30, 1986 and recorded in Deed Book 3827, Page 307, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated May 13, 1987, filed May 18, 1987 and recorded in Deed Book 4311, Page 335, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated October 17, 1988, filed November 14, 1988 and recorded in Deed Book 5197, Page 161, aforesaid records; as further amended by Amendment to Declaration of Covenants, Conditions and Restrictions, dated March 1, 1989, filed March 2, 1989 and recorded in Deed Book 5356, Page 316, aforesaid records; as affected by Extension of Declaration of Covenants, Conditions and Restrictions, dated April 2, 1991, filed April 4, 1991 and recorded in Deed Book 6484, Page 116, aforesaid records; as assigned by Assignment and Assumption of Rights Under Declaration of Covenants, Conditions and Restrictions for Technology Park/Atlanta, dated January 14, 2005, filed February 24, 2005 and recorded in Deed Book 41756, Page 85, aforesaid records; as further assigned by Assignment to Declaration of Covenants, Conditions and Restrictions for Technology Park/Atlanta, dated as of August 8, 2008, filed August 22, 2008 and recorded in Deed Book 49039, Page 706, aforesaid records; as further affected by Third Extension of Declaration of Covenants, Conditions and Restrictions, dated as of November 11, 2010, filed March 23, 2010 and recorded in Deed Book 50599, Page 731, aforesaid records; as may be further amended and/or supplemented. AFFECT THE SUBJECT PROPERTY, BLANKET IN NATURE AND CANNOT BE PLOTTED.



VICINITY MAP

TITLE EXCEPTIONS

9. Sewer Easement from Technology Park/Atlanta, Inc., a Georgia corporation to Helen G. Mansfield, dated October 30, 1972, filed November 10, 1972 and recorded in Deed Book 576, Page 137, aforesaid records. IS VAGUE IN ITS DESCRIPTION AND CANNOT DETERMINE IF IT AFFECTS THE SUBJECT PROPERTY.

14. Sewer Easement from Helen G. Mansfield to Technology Park/Atlanta, Inc., a Georgia corporation, dated November 8, 1972, filed July 25, 1973 and recorded in Deed Book 700, Page 194, aforesaid records. IS VAGUE IN ITS DESCRIPTION AND CANNOT DETERMINE IF IT AFFECTS THE SUBJECT PROPERTY.

15. Agreement for Sewer Service from Gwinnett County, a political subdivision of the State of Georgia to Citizens and Southern National Bank, dated June 2, 1975, filed June 3, 1975 and recorded in Deed Book 966, Page 151, aforesaid records. AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND CANNOT BE PLOTTED.

16. Easement Agreement by and among West Enterprises, Inc., a Georgia corporation, et. al. and Technology Park/Atlanta, Inc., a Georgia corporation, dated as of October 9, 1978, filed February 26, 1979 and recorded in Deed Book 1649, Page 160, aforesaid records. AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND CANNOT BE PLOTTED.

17. Easement from Westech Associates to Georgia Power Company, dated February xx, 1985, filed March 4, 1985 and recorded in Deed Book 2987, Page 183, aforesaid records. Does not affect per Survey.

18. Drainage Easement Agreement by and between Technology Park/Atlanta, Inc., a Georgia corporation and New York Life Insurance Company, a New York corporation, dated August xx, 1995, filed October 6, 1995 and recorded in Deed Book 11820, Page 232, aforesaid records. Does not affect per Survey.

19. Temporary Easement from TP/A-West, Inc. to Gwinnett County, a political subdivision of the State of Georgia, dated February 12, 1999, filed February 22, 1999 and recorded in Deed Book 17817, Page 242, aforesaid records. Expired per Survey.

20. Temporary Easement from Technology Park/Atlanta, Inc. to Gwinnett County, a political subdivision of the State of Georgia, dated February 12, 1999, filed February 22, 1999 and recorded in Deed Book 17817, Page 245, aforesaid records. Expired per Survey.

21. Permanent Reuse Waterline Easement from TP/A-West, Inc. to Gwinnett County, a political subdivision of the State of Georgia, dated February 12, 1999, filed February 22, 1999 and recorded in Deed Book 17818, Page 11, aforesaid records. AFFECTS THE SUBJECT PROPERTY AS SHOWN.

22. Permanent Reuse Waterline Easement from Technology Park/Atlanta, Inc. to Gwinnett County, a political subdivision of the State of Georgia, dated February 12, 1999, filed February 22, 1999 and recorded in Deed Book 17818, Page 16, aforesaid records. AFFECTS THE SUBJECT PROPERTY AS SHOWN.

23. Easement from Technology Park/Atlanta, Inc. to Gwinnett County Water and Sewerage Authority, dated October 5, 1999, filed October 21, 1999 and recorded in Deed Book 19419, Page 106, aforesaid records. Intentionally Omitted. Does not affect per Survey. INTENTIONALLY OMITTED.

24. Water Metering Device Easement by and between Technology Park/Atlanta and Gwinnett County Water and Sewerage Authority, a political subdivision of the State of Georgia, dated October 5, 1999, filed October 21, 1999 and recorded in Deed Book 19419, Page 108, aforesaid records. Intentionally Omitted. Does not affect per Survey. INTENTIONALLY OMITTED.

25. All matters affecting subject property as shown on the following plats, all aforesaid records: AS SHOWN.

- (a) Plat Book Z, Page 237;
- (b) Plat Book 17, Page 300; and
- (c) Plat Book 80, Page 240.

The field data upon which this map or plat is based has a closure precision of one foot in 59,806 feet and an angular error of 00° 00' 03" per angle point and was adjusted using the compass adjustment rule.

This map or plat has been calculated for closure and is found to be accurate to within one foot in _____ feet.

EQUIPMENT USED:

- ANGULAR: TOPCON TOTAL STATION
- LINEAR: TOPCON TOTAL STATION

PRELIMINARY PLAT

FOR

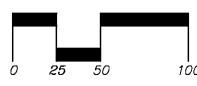
RACETRAC

CITY OF PEACHTREE CORNERS

GWINNETT COUNTY GEORGIA



DRAWN BY: MCS
CHECKED BY: JNH
FILE NO.: 11054.00
DATE: FEBRUARY 15, 2018
SCALE: 1" = 50'



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REV	DATE	DESCRIPTION	BY
5	-	-	-
4	-	-	-
3	-	-	-
2	-	-	-
1	08-24-17	ALTA UPDATE	JNH

LAND LOT(S) 284
DISTRICT 6TH

Order Plans @