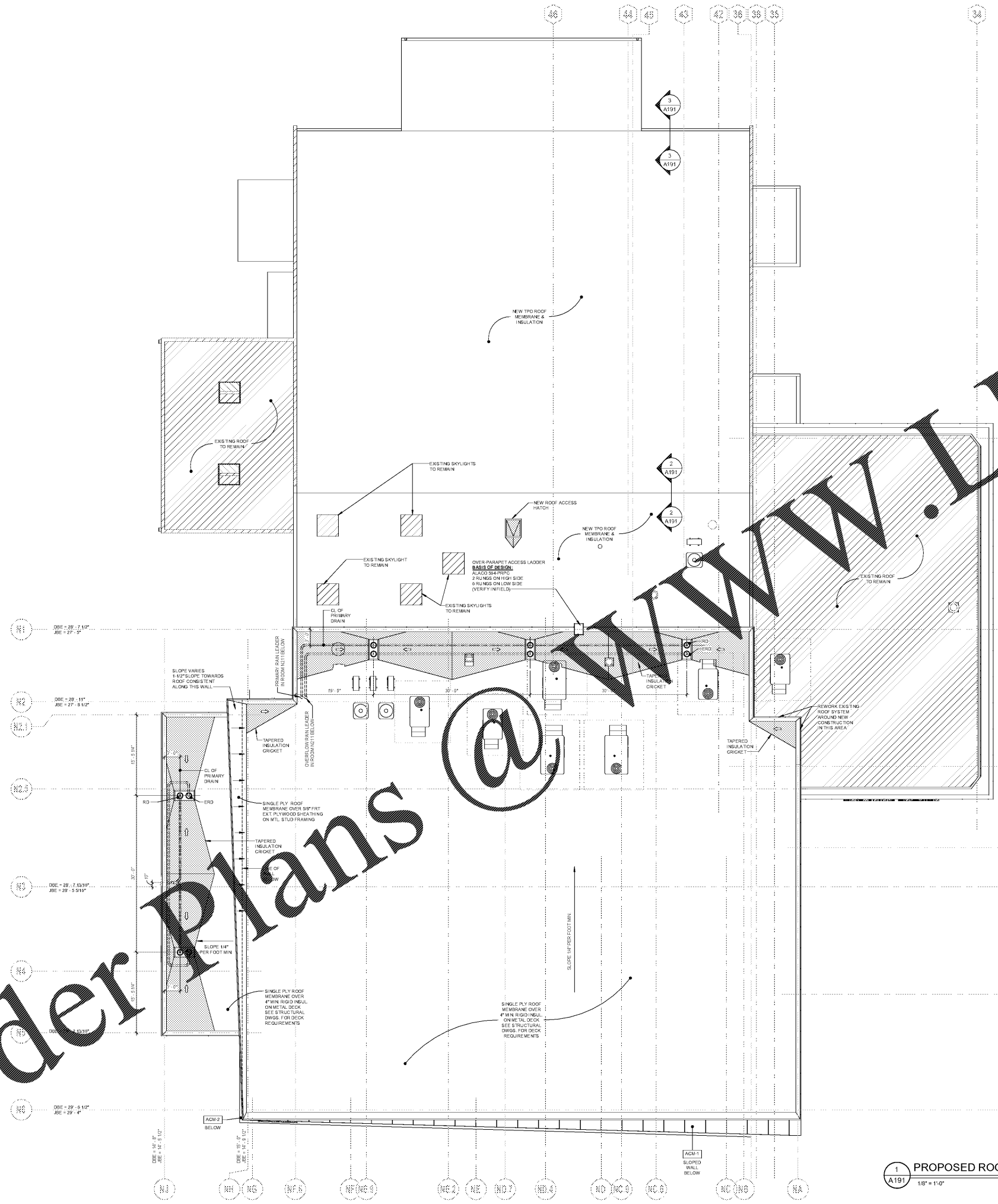


Order Plans
 JIM ELLIS CADILLAC_enricher.rvt
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1 PROPOSED ROOF PLAN
1/8" = 1'-0"

ROOF PLAN NOTES

- ALL EMERGENCY AND OVERFLOW DRAINS AND SCUPPERS SHALL BE INSTALLED TO BE BETWEEN 2" AND 4" ABOVE THEIR ASSOCIATED PRIMARY DRAIN OR SCUPPER. IN NO CASE SHALL ANY EMERGENCY DRAIN OR SCUPPER BE LOCATED SO AS TO CREATE MORE THAN 6" OF WATER RETENTION ON THE ROOF.
- ALL INTERNAL EMERGENCY ROOF DRAINS SHALL USE SEPARATE LEADERS FROM ANY PRIMARY DRAIN AND SHALL LEAD TO DAYLIGHT.
- ROOF DETAILS SHOWN ARE FOR REFERENCE. THE GC SHALL USE MANUFACTURER'S DETAILS AS REQUIRED TO MAINTAIN SYSTEM WARRANTY.
- INSTALL WALK PADS AS RECOMMENDED BY ROOFING MANUFACTURER.
- ROOF EQUIPMENT SHOWN FOR COORDINATION ONLY. SEE MECHANICAL SHEETS FOR UNIT DESIGNATIONS AND SPECIFICATIONS.

NOTES

- ALL RTUs TO BE PRE-FINISHED WHITE
- ELEVATION OF 0'-0" IS EQUAL TO X'-X" ABOVE FINISH FLOOR

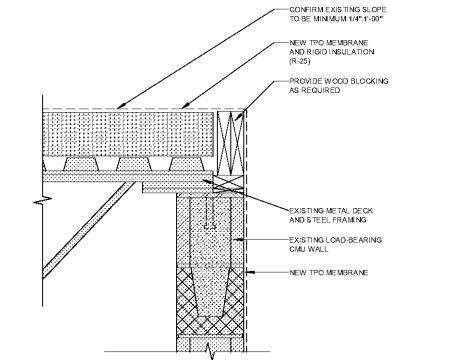
SCOPE OF WORK LEGEND

NOTE: THESE DESIGNATIONS ARE SPECIFIC TO EACH DRAWING SHEET. GC SHALL REVIEW SCOPE INDICATED ON EVERY SHEET.

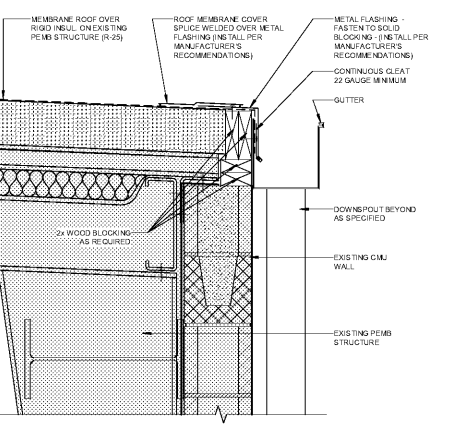
- HATCH REPRESENTS AREAS OUT OF PROJECT SCOPE, NO WORK SHALL BE DONE IN THESE AREAS, U.N.O.
- IN-SCOPE WORK IS SPECIFICALLY DETAILED IN THE CONSTRUCTION DOCUMENTS.
- HATCH REPRESENTS AREAS OF LIMITED SCOPE, SEE NOTE BELOW.

LIMITED SCOPE INCLUDES WALL PAINT, WALL BASE, ELECTRICAL DEVICE COVER PLATES & DIFFUSERS, GRILLES AND REGISTERES.

REPAIR AND PREP EXISTING CONSTRUCTION AS REQUIRED PRIOR TO PAINTING FOR "LIKE NEW" CONDITION. REPAIR/REPLACE WALL BASE & ELECTRICAL DEVICE COVER PLATES AS REQUIRED. REPLACE DAMAGED DIFFUSERS AND GRILLES TO MATCH ADJACENT SPECIFICATION AND CLEAN ALL DIFFUSERS AND GRILLES DETERMINED TO REMAIN. THESE ITEMS MUST BE VISIBLY INSPECTED BY THE GC TO DETERMINE SCOPE AND PRICE FOR THE CLIENT AT THE TIME OF BID. THESE ITEMS ARE NOT SPECIFICALLY INDICATED IN THIS SET OF CONSTRUCTION DOCUMENTS.



2 TYP. SECT. DTL. - NEW TPO & INSULATION
1 1/2" = 1'-0"



3 TYP. SECT. DTL. - PEMB & TPO ROOF
1 1/2" = 1'-0"

ysm DESIGN
 1320 Ellsworth Industrial Blvd
 Suite A-100
 Atlanta GA 30318
 404-249-4555
 404-355-6306
 www.ysm.com

PRO BUILDING SYSTEMS
 DESIGN BUILD CONTRACTORS

Signed & Sealed: 31 AUG 2018

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Rev	Date	Comments

BID SET

Every Contractor or Subcontractor, by submitting a bid for this project, certifies that they have reviewed all aspects of this project and have included all work required to provide a complete project that meets all building codes.

Requests or discrepancies are based on these notes. Issues should be submitted by the building General Contractor as a Request for Information on the bid date. These clarifications will be issued to all Bidders in Atlanta. No consideration will be given after the bid date for issues that could clearly have been assumed during the bidding period.

Information to all Bidders:
 For more information about this bid, including a list of the most current documents, instructions to Bidders, Responsibility Chart, answers to RFIs, etc., go to project website. Note this address will be provided to bidders with invitation to bid.

It is the responsibility of ALL Bidders to become familiar with this bid and the additional information that is contained therein. If you do not have access to the internet, you MUST contact your General Contractor for this information. No Change Orders will be accepted for not reviewing this information.

No consideration will be given for Change Order Requests based on any of the following:

- Items requiring clarification but not clearly indicated as an exception on the bid.
- Items requiring clarification but not submitted to Architect as a request for information during bidding.
- Items deemed to be industry standard for a particular system or assembly.
- Items that can reasonably be inferred or assumed from contract documents.

Client:
JIM ELLIS CADILLAC
 5880 PEACHTREE BLVD
 ATLANTA, GA 30341

Project:
JIM ELLIS CADILLAC
 5880 PEACHTREE BLVD
 ATLANTA, GA 30341

Project Number: 18020
 Drawn By: TFL
 Checked By: AEA / ES
 Approved By: YSM

Sheet Title:
ROOF PLAN

Sheet Number:
A191