

CONCRETE WASHDOWN PIT NOTE:

THE CONCRETE WASHDOWN PIT IS NOT FOR THE DUMPING OF EXCESS CONCRETE WITHIN CONCRETE. IT IS TO BE USED FOR THE WASHING OF CONCRETE TIRES AND TROUGHS AND TOOLS. DEBRIS FROM CONCRETE WASHDOWN PIT TO BE DISPOSED OF IN ON-SITE CONSTRUCTION DEBRIS CONTAINER FOR REMOVAL FROM THE SITE.

EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.

ALL EROSION AND SEDIMENTATION CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON-SITE INSPECTION.

ALL FILL SLOPES WILL HAVE SILT FENCE AT TOE OF SLOPES.

EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
2. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.

TOTAL SITE AREA = 3.59 ACRES
DISTURBED AREA = 0.71± ACRES

RECEIVING WATERS:
NANCY CREEK
(IMPAIRED STREAM, >1 MILE DOWNSTREAM)

NOTE:
AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.



GEORGIA SOIL AND WATER CONSERVATION COMMISSION
JON M. EVANS, P.E.
Level II Certified Design Professional

CERTIFICATION NUMBER 0000010877
ISSUED: 05-16-2008 EXPIRES: 05-16-2021

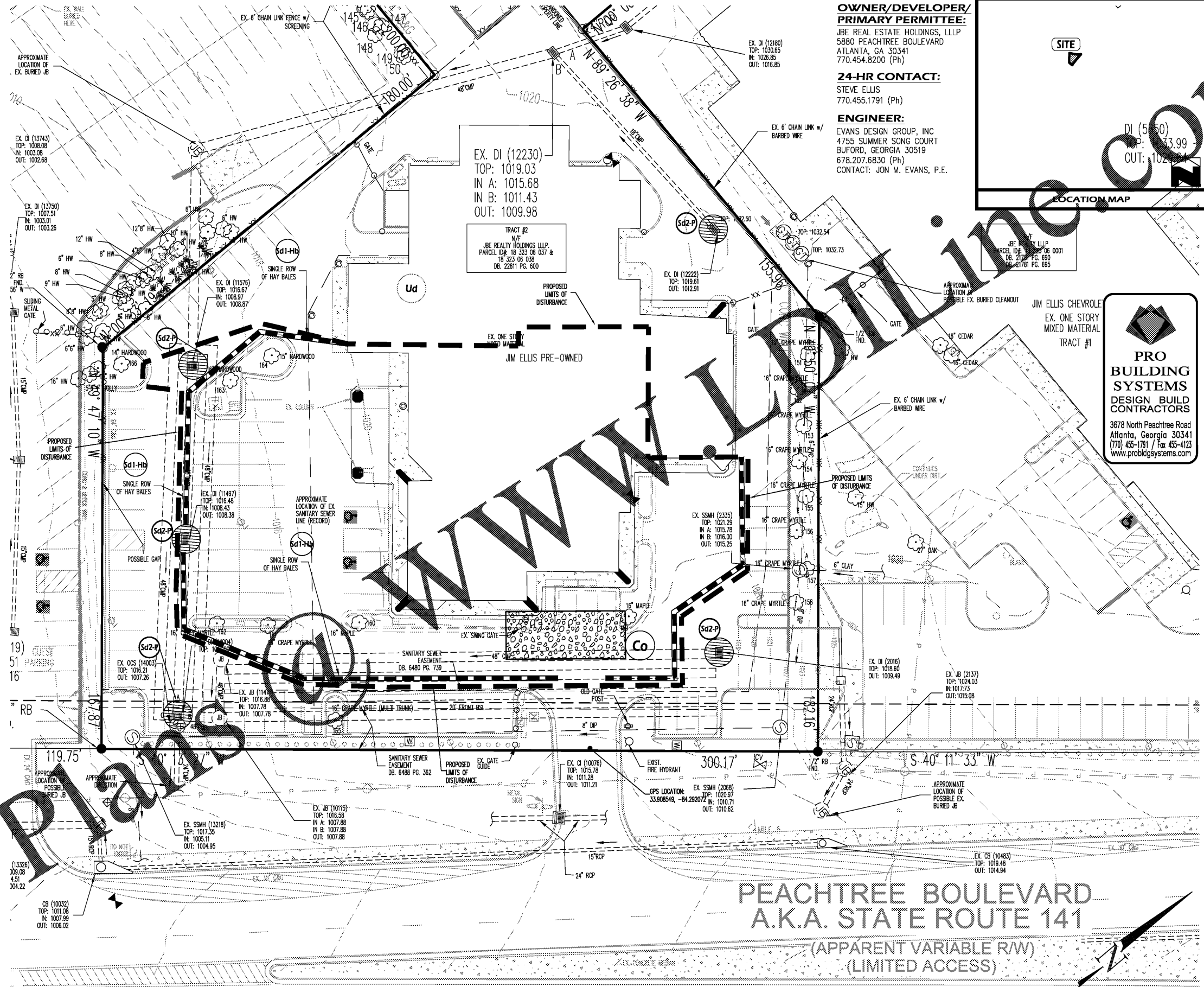


Know what's below
Call before you dig

UTILITY DISCLAIMER:

IN ACCORD WITH THE TERMS AND CONDITIONS OF THE CONTRACT, THE DRAWINGS SHOW THE LOCATION OF UTILITIES AS SHOWN UNDER THE CONTRACT. THE DRAWINGS SHOW THE LOCATION OF UTILITIES AS SHOWN UNDER THE CONTRACT. THE DRAWINGS SHOW THE LOCATION OF UTILITIES AS SHOWN UNDER THE CONTRACT. THE DRAWINGS SHOW THE LOCATION OF UTILITIES AS SHOWN UNDER THE CONTRACT.

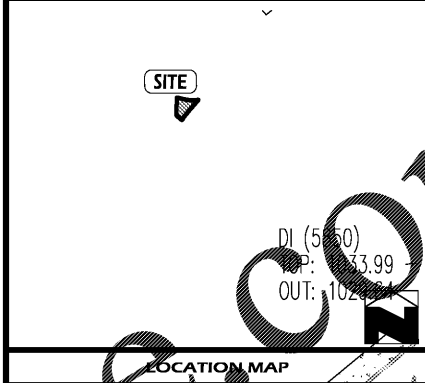
THIS PROPERTY DOES NOT LIE IN A 100-YR FLOOD ZONE AS SHOWN ON FIRM COMMUNITY PANEL NO. 13089C 0014 J, EFFECTIVE DATE MAY 16, 2013.



OWNER/DEVELOPER/ PRIMARY PERMITTEE:
JBE REAL ESTATE HOLDINGS, LLLP
5880 PEACHTREE BOULEVARD
ATLANTA, GA 30341
770.454.8200 (Ph)

24-HR CONTACT:
STEVE ELLIS
770.455.1791 (Ph)

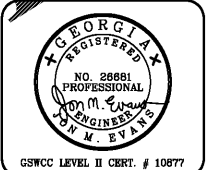
ENGINEER:
EVANS DESIGN GROUP, INC
4755 SUMMER SONG COURT
BUFORD, GEORGIA 30519
678.207.6830 (Ph)
CONTACT: JON M. EVANS, P.E.



DL (5860)
TOP: 1033.99
OUT: 1029.24

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jevans@evansdg.com



PROJECT NAME
JIM ELLIS CADILLAC

5880 PEACHTREE BLVD
LL 323, 18th DISTRICT
CITY OF CHAMBLEE
GEORGIA

DATE:
03-22-18

DESIGN BY: JME
DRAWN BY: JME
CHECKED BY: JME

Not Released For Construction
 Released For Construction

OWNER/DEVELOPER

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REVISIONS

1	10-16-2018	FIRST SUBMITTAL
2	11-15-2018	CITY COMMENTS

JOB NUMBER:
18-011

SHEET TITLE
E.C. PLAN PHASE I

C-9

SOIL SERIES CHART

SYMBOL	SOIL SERIES	SLOPE CLASS	DEPTH TO BEDROCK (IN.)	K FACTOR (NRCS)	T FACTOR (ton/acre/yr)
Ud	Urban Land	2-50%	>78	n/a	n/a

CONSTRUCTION ENTRANCE/EXIT NOTE:
CONTRACTOR TO INSTALL CONSTRUCTION EXIT ALONG EDGE OF AREA WHERE EXISTING ASPHALT IS PROPOSED TO BE REMOVED ONCE IT IS REMOVED TO KEEP CONSTRUCTION VEHICLE TRAFFIC FROM TRACKING SEDIMENT ONTO THE ROADWAY.

