

CITY OF CHAMBLEE

August 28, 2018

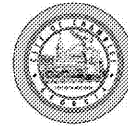
Mr. Steven Ellis
3678 N Peachtree Rd
Chamblee, GA 30341

RE: PZ2018-312 – Development of Community Impact to amend previously approved conditions – 0, 5880, and 5900 Peachtree Blvd

Dear Mr. Ellis,

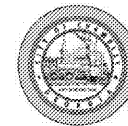
This letter serves to confirm that at its regularly scheduled meeting on August 21, 2018 the City Council **approved** the Development of Community Impact with the following amended conditions:

- The development shall be constructed in substantial conformity with the DCI packet EXHIBIT A: DCI Plan Book for Jim Ellis Cadillac dated received May 24, 2018 and revised site plan submitted on 8/21/2018.
- Shallowford Rd shall be planted to buffer standards, except for the portion of the driveway necessary to allow for vehicular access to the parking garage. Vegetation shall be installed in the 60-foot-wide easement to the extent allowed by the easement holder.
- Lights on the structured levels of the parking deck shall not be visible from the public right-of-way or neighboring properties after business hours.
- The appearance of the parking deck shall be updated to reflect the following:
 - The south elevation shall be constructed in general conformity with the elevations as submitted with the DCI packet on April 12, 2018.
 - The left and right bays on the north elevation shall be subject to architectural treatments (metal grill-work, brick screens, or louvers) on each of the openings.
 - The two rightmost bays adjacent to the stair tower on the east elevation shall have vertical vegetative screening.
 - The leftmost bay on the west elevation shall have vertical vegetative screening.
- The Crepe Myrtle trees along Peachtree Blvd shown on the site plan submitted to the ARB shall be replaced with a different species of shade tree.
- The applicant shall extend the streetscape northward along Peachtree Blvd to the entrance of the Chevrolet Dealership (address: 5900 Peachtree Blvd).
- The parking deck shall be no more than three levels above ground.



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- The wall of the parking deck fronting Forest Court shall be a solid wall with design elements substantially in conformity with the plans submitted, and the design elements but with noise abatement features and a darker shade of pigment dyed cement.
- The waist-wall of the top level of the deck, specific to the wall facing Forest Court, a 30-inch screen shall be installed to create a six-foot blind.
- If a sign is ever erected on the deck, the sign shall be non-illuminated.
- In lieu of burying the power lines, the applicant shall install the full streetscape along the entire frontage of Peachtree Boulevard and North Shallowford road abutting Tracts 1, 2, and 3.
- The eastern most entry from Shallowford Rd shall be closed to vehicular traffic and built with a mountable curb and a Knox box, per Fire Marshal approval.
- Speed bumps or equivalent shall be installed in the drive isles before each ramp in the parking deck.
- The surface of the deck shall be finished with a broom-finish or equivalent to eliminate tire screeching.
- The facility shall be used exclusively for vehicular storage and no mechanical or body work, no matter how minor, shall be performed in the parking deck.
- Council directs Staff to work with Tim Wolf, Certified Arborist, as a community designee, on matters related to the landscaping plan for the project, for the area between the deck and the property line closest to Forrest Ct.
- The Applicant shall fund a City Welcome Sign, the design of which to be approved by the City Manager, at the corner of Peachtree Blvd and North Shallowford Rd to be visible by the southbound lanes of Peachtree Blvd.
- The applicant shall implement policies and procedures prohibiting the use of alarms for vehicle locating purposes. The policy shall have significant ramifications for each violation.
- The applicant shall implement cost to be implemented or otherwise insure that the system is in place to identify vehicle locations without the use of alarms or panic buttons.
- The applicant shall install a HAWK Signal along North Shallowford Rd provided the cost is not to exceed \$15,000 subject to the approval of the Development Director and any other regulatory agencies.
- A right-in, right-out turn shall be permitted, however, shall be designed in such a manner that eliminates any possibility for a left-in from North Shallowford Rd.
- The proposed right turn lane on North Shallowford Rd shall be subject to the review and approval of the Development Director. The Applicant shall submit a traffic analysis for the right turn lane.
- The applicant agrees to install a connector sidewalk to the minimum width required by ADA (4-5 feet) adjacent to North Shallowford from the subject property to



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Summer Rose Drive along North Shallowford Rd provided that the City obtains additional right-of-way from the two property owners along Forest Court that will be impacted by the sidewalk construction if necessary.

- The applicant agrees to dedicate land owned by Ellis or its affiliates for the proposed round-about to the City at no cost as previously agreed to by the applicant.
- Notwithstanding the foregoing, the site plan shall be in substantial conformity with that submitted on 8/21/2018. However, should the City Manager determine that safety issues exist after consulting with the Traffic Engineer working on behalf of the City, the City Manager shall have the authority to make minor modifications, including the inclusion of a left-in if deemed necessary by the City Manager.
- The applicant shall make reasonable efforts to coordinate with the City on the timing of construction activities impacting the right-of-way.

The action taken on your application will become final upon approval of the meeting minutes at the September 18th regularly scheduled City Council meeting. If you have any questions please contact me at 470-393-2333 or mdickison@chambleega.gov

Sincerely,

Matthew Dickison, AICP
Development Director



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Atlanta, GA 30319
(Ph) 404.207.6830
jevans@evansdg.com



GSWCC LEVEL II CERT. # 10877

PROJECT NAME

JIM ELLIS
CADILLAC

5880 PEACHTREE BLVD
LL 323, 18th DISTRICT
CITY OF CHAMBLEE
GEORGIA

DATE:

03-22-18

DESIGN BY DRAWN BY CHECKED BY

JME JME JME

Not Released For Construction

Released For Construction

OWNER/DEVELOPER

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REVISIONS

1	10-16-2018	FIRST SUBMITTAL
2	11-16-2018	CITY COMMENTS

JOB NUMBER:

18-011

SHEET TITLE
VARIANCE CASE
& CONDITIONS

C-1A



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