

1 TENANT IMPROVEMENT FLOOR PLAN
SCALE: 3/32" = 1'-0"

GENERAL NOTES

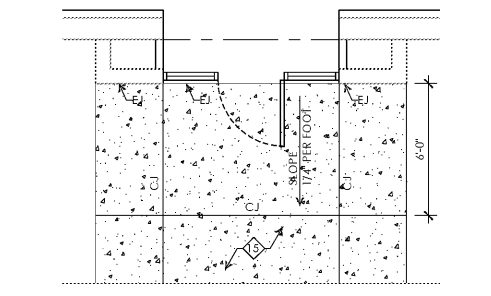
- A. ALL WOOD FRAMING, BLOCKING, ETC. TO BE FIRE RETARDANT TREATED LUMBER AS REQUIRED BY CODE. THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE WOOD BLOCKING AS REQUIRED FOR THE INSTALLATION OF ALL MILLWORK, TOILET ACCESSORIES, GONDOLAS, ETC.
- B. G.C. TO COORDINATE INSTALLATION OF MATERIAL SHOWN ON THIS SHEET.
- C. REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- D. ALL BUILDING COLUMNS TO BE PAINTED PT-4 TO 13'-0" A.F.F. AND PT-2 FROM 13'-0" A.F.F. TO UNDERSIDE OF ROOF DECK.
- E. ALL MECHANICAL, ELECTRICAL CONDUIT, SUPPORTS, OVERHEAD EQUIPMENT, AND ANY MISCELLANEOUS DEVICES AT THE UNDERSIDE OF ROOF DECK OR MOUNTED ABOVE 13'-0" A.F.F. TO BE PAINTED PT-2.
- F. PAINT INTERIOR BOLLARDS PT-1.

- G. ALL HOLLOW METAL DOORS AND FRAMES TO BE EPOXY AND PAINTED TO MATCH ADJACENT WALL.
- H. ALL CONDUIT DROPS SHALL BE PAINTED TO MATCH ADJACENT WALL.
- I. PROVIDE STAINLESS STEEL 2" LEG CORNER GUARDS TO 4'-0" A.F.F. IN THE RECEIVING AREA AT ALL EXPOSED GYPSUM WALLBOARD CORNERS - CORNER GUARDS EXTEND TO THE FLOOR. NO WALL BASE UNDER OR OVER CORNER GUARDS.
- J. PROVIDE 4'-0" HIGH ACROVYN CORNER GUARD SSM20, 90° CORNER WITH 2" LEGS, COLOR 313 VANILLA, IN SALES FLOOR AREA AT ALL EXPOSED GYPSUM WALLBOARD CORNERS - INSTALL CORNER GUARDS DIRECTLY ABOVE WALL BASE.
- K. A TRANSITION STRIP, SPECIFIED BY OFFICE DEPOT VENDOR, SHOULD BE INSTALLED BETWEEN THE CARPET/LVT AND CONCRETE FLOORING.

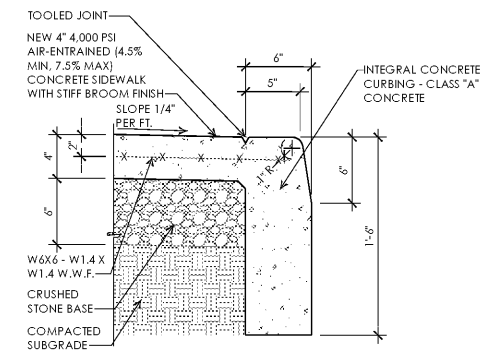
TENANT IMPROVEMENT KEY NOTES

- 1 NEW FLOOR AND WALL FINISHES THROUGHOUT - REFER TO PLAN THIS SHEET & SCHEDULES ON SHEET A401.
- 2 PATCH AND REPAIR EXISTING WALLS THROUGHOUT AS NECESSARY TO ACCEPT NEW FINISH.
- 3 PATCH AND REPAIR EXISTING FLOOR SLAB THROUGHOUT OFFICE DEPOT SPACE. ALL BLEMISHES, CRACKS, HOLES, FLOOR OUTLETS, DUCTS, CONDUIT, OR OTHER MISCELLANEOUS PROJECTIONS ARE TO BE REMOVED AND/OR REPAIRED TO PROVIDE SMOOTH SUBSTRATE AS TO ACCEPT NEW FINISH. REFER TO 3/A102.
- 4 HATCHING INDICATES AREA OF CONCRETE SLAB INFILL. DOWEL CONCRETE SLAB AT TRENCHING AND INFILL. REFER TO DETAIL 3/A102.
- 5 INFILL WALL TO MATCH EXISTING CONSTRUCTION.
- 6 LOSS PREVENTION PEDESTAL - REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 7 PAINT PT-1 FROM FINISHED FLOOR TO 13'-0" A.F.F. AS DIMENSIONS SHOWN - REFER TO MATERIAL SCHEDULE.
- 8 OFFICE DEPOT VENDOR "INSIDE EDGE" TO MATCH DIMENSIONS SHOWN.
- 9 BEHIND STEEL RACKS WITH GONDOLAS BENEATH - NO WALL FROM FLOOR TO 5'-0" A.F.F., PT-1 PAINT FROM 5'-0" A.F.F. TO 13'-0" A.F.F., AND PAINT FROM 13'-0" A.F.F. TO ROOF DECK.
- 10 INSTALL NEW ELECTRIC HAND DRYER - VENDOR MODEL XL WITH ADA COMPLIANT RECEPT KIT PART ID: 40502.
- 11 MODIFY EXISTING SPRINKLER LINES AND HEADS AS NECESSARY. REFER TO SHEET MF101 FOR DETAILS.
- 12 INSPECT, CLEAN, AND REPAIR EXISTING OVERHEAD DOOR TO REMAIN TO ENSURE GOOD WORKING CONDITION AND FULLY OPERATIONAL. REPAIR OR REPLACE ANY DAMAGED WEATHERSTRIP OR SEALS. LUBRICATE AND PERFORM ANY MANUFACTURER RECOMMENDED PREVENTIVE MAINTENANCE. PAINT TO MATCH ADJACENT WALL. REFER TO HARDWARE SCHEDULE FOR LOCK AND CORES.

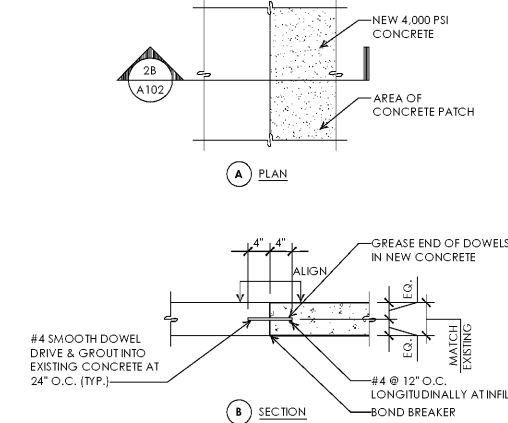
- 13 INSPECT, CLEAN, AND REPAIR EXISTING DOCK LEVELER TO REMAIN TO ENSURE GOOD WORKING CONDITION AND FULLY OPERATIONAL. REPAIR OR REPLACE ANY DAMAGED PARTS AND PERFORM ANY MANUFACTURER RECOMMENDED PREVENTIVE MAINTENANCE.
- 14 DOORBELL FROM DRIVER / ASSOCIATE ACCESS. REFER TO ELECTRICAL SHEETS.
- 15 NEW 4" 4,000 PSI AIR-ENTRAINED (4.5% MIN. 7.5% MAX.) CONCRETE SIDEWALK WITH 6x6 - W1.4 X W1.4 W.W.F. OVER CRUSHED STONE BASE. SUPPORT REINF. @ 4'-0" C.C. E.W. DRIVEN INTO EXISTING CONCRETE. REFER TO DETAIL 5-S100 - STIFF BRISTLE BROOM FINISH AND DETAIL 5-S101 - INSTALL CONTROL JOINTS (CJ) AND EXPANSION JOINTS (EJ) AS SHOWN ON THE PLAN. REFER TO 4/A102 & 5/A102.
- 16 EXISTING RESTROOM CONFIGURATION TO REMAIN. PATCH & PAINT WALLS - REFER TO A401 FOR FURTHER INFORMATION.
- 17 EXISTING DOOR & HARDWARE TO REMAIN. PAINT TO MATCH ADJACENT WALL - REFER TO A401 FOR FURTHER INFORMATION.
- 18 EXISTING BELLER TO REMAIN - PROTECT DURING DEMOLITION AND CONSTRUCTION.
- 19 EXISTING ROOF LADDER TO REMAIN - PROTECT DURING DEMOLITION AND CONSTRUCTION.
- 20 EXISTING WATER SERVICE TO REMAIN - REFER TO PLUMBING SHEETS FOR MORE INFORMATION.
- 21 EXISTING ELECTRICAL SERVICE AND EQUIPMENT TO REMAIN - REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.
- 22 EXISTING FIRE RISER AND EQUIPMENT TO REMAIN - PROTECT DURING DEMOLITION AND CONSTRUCTION.



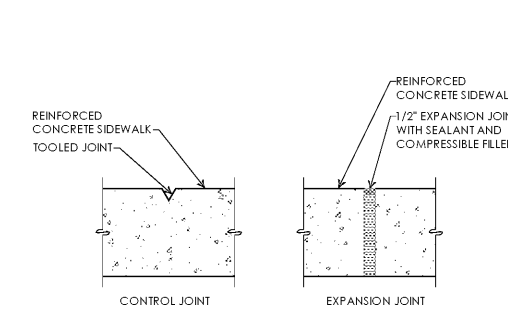
2 ENLARGED SIDEWALK PLAN
SCALE: 1/4" = 1'-0" NORTH



4 SIDEWALK CURB DETAIL
SCALE: 1-1/2" = 1'-0"



3 CONCRETE PATCHING DETAIL
SCALE: 3/4" = 1'-0"



5 CONTROL JOINT & EXPANSION JOINT DETAIL
SCALE: 3" = 1'-0"

ARCHITECTURAL DESIGN GUILD
2000 S. Main Blvd.
St. Louis, MO 63143
www.adg-stl.com
P: 314.644.1234
F: 314.644.4373

Office DEPOT OfficeMax
6600 NORTH MILITARY TRAIL
BOCA RATON, FL 33496
PHONE: (561) 438-6299
FAX: (561) 438-7237

Office DEPOT
STORE #0409
BOCA RATON, FL

4901 N. FEDERAL HIGHWAY
BOCA RATON, FL 33431

ISSUE DATE: 11/09/2018
STORE NUMBER: #0409
LEASABLE AREA: 29,701 S.F.
GROSS FLOOR AREA: 28,752 S.F.
JOB NUMBER: 2018.012000

| ISSUE | ISSUED FOR | DATE |
|-------|------------|------|
| | | |
| | | |
| | | |
| | | |

STATE OF FLORIDA
BARRY J. GREENBERG
REGISTERED ARCHITECT
ARB9300

BARRY J. GREENBERG
#AR0009300 | EXP. 02/28/2019

TENANT IMPROVEMENT FLOOR PLAN

DRAWN: SAR
CHECKED: MBK

A102