



Know what's below.
Call before you dig.

Project Information	
Zoning	C-1 / TCC Overlay
Total Site Area	3.5 AC
Existing Impervious Area	N/A
Proposed Impervious Area	1.6 AC
Proposed Pervious	1.9 AC
% Impervious	46
Required Parking (1 per 2 pumps)	36
Provided Parking	38 (2 handicap)
Total Disturbed Area	4.91 acres
Speed Limit on SR3 / US 41 (MLK Pkwy)	55 MPH
Speed Limit on SR 155 / US 19 (Zebulon Rd)	50 MPH

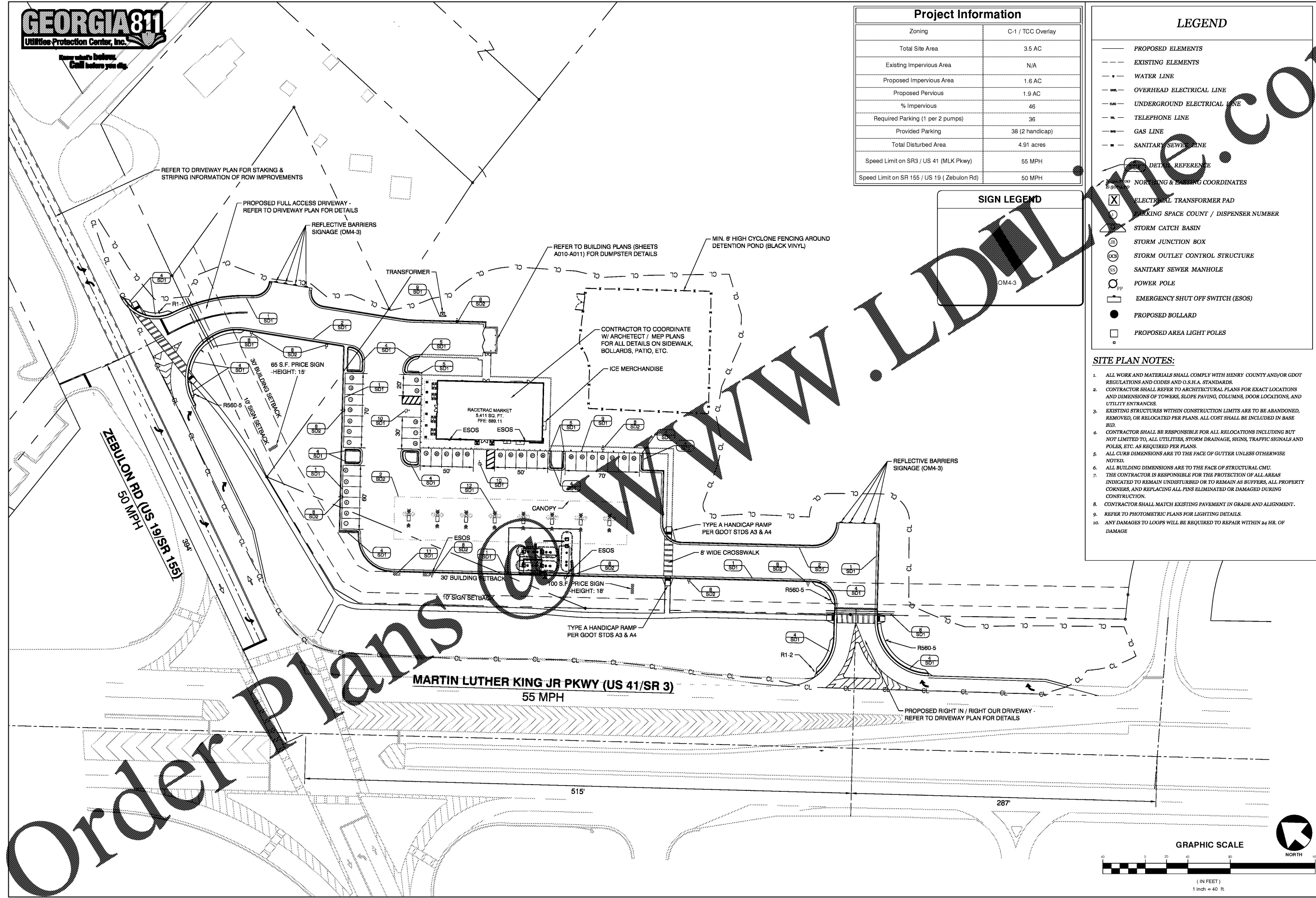
LEGEND

- PROPOSED ELEMENTS
- - - EXISTING ELEMENTS
- WATER LINE
- OVERHEAD ELECTRICAL LINE
- UNDERGROUND ELECTRICAL LINE
- TELEPHONE LINE
- GAS LINE
- SANITARY SEWER LINE
- DETAIL REFERENCE
- NORTHING & EASTING COORDINATES
- ⊗ ELECTRICAL TRANSFORMER PAD
- ⊗ PARKING SPACE COUNT / DISPENSER NUMBER
- ⊗ STORM CATCH BASIN
- ⊗ STORM JUNCTION BOX
- ⊗ STORM OUTLET CONTROL STRUCTURE
- ⊗ SANITARY SEWER MANHOLE
- ⊗ POWER POLE
- ⊗ EMERGENCY SHUT OFF SWITCH (ESOS)
- PROPOSED BOLLARD
- PROPOSED AREA LIGHT POLES

SIGN LEGEND

OM4-3

- ### SITE PLAN NOTES:
- ALL WORK AND MATERIALS SHALL COMPLY WITH HENRY COUNTY AND/OR GDOT REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF TOWERS, SLOPE PAVING, COLUMNS, DOOR LOCATIONS, AND UTILITY ENTRANCES.
 - EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED PER PLANS. ALL COST SHALL BE INCLUDED IN BASE BID.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, ETC. AS REQUIRED PER PLANS.
 - ALL CURB DIMENSIONS ARE TO THE FACE OF GUTTER UNLESS OTHERWISE NOTED.
 - ALL BUILDING DIMENSIONS ARE TO THE FACE OF STRUCTURAL CMU.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS ELIMINATED OR DAMAGED DURING CONSTRUCTION.
 - CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
 - REFER TO PHOTOMETRIC PLANS FOR LIGHTING DETAILS.
 - ANY DAMAGES TO LOOPS WILL BE REQUIRED TO REPAIR WITHIN 24 HR. OF DAMAGE.



Order Plans

WWW.LDDELTA.COM

10/24/2018	REVISED PER SPALDING CO COMMENTS	DATE
09/16/2018	REVISED PER SPALDING CO CITY OF GRIFFIN / RT INTERNAL COMMENTS	NO
07/06/2018	REVISED PER PEE DROP OF 4"	1
07/06/2018	REVISED SET DRAINAGE IN ROW PER GDOT COMMENTS	2
12/12/2017	REVISED SET PER SPALDING COUNTY PLAN REVIEW	3
12/12/2017	REVISED SET PER RT INTERNAL REVIEW / SPALDING COUNTY PLAN REVIEW	4
12/12/2017	REVISED SET PER RT INTERNAL REVIEW / SPALDING COUNTY PLAN REVIEW	5
12/12/2017	REVISED SET PER RT INTERNAL REVIEW / SPALDING COUNTY PLAN REVIEW	6
09/15/2017	REVISED SET PER RT INTERNAL REVIEW / SPALDING COUNTY PLAN REVIEW	7
		8
		9

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Racetrac
 RACETRAC PETROLEUM, INC.
 200 GALLERIA PKWY, S.E.
 SUITE 900 ATLANTA, GA 30339
 (770) 431-7600

Site Plan
 RACETRAC MARKET
 RaceTrac Griffin
 1638 US Hwy 41
 Spalding County

DATE	7-24-17
DRAWN BY	JDE
CHECK BY	AKA
DRAWING NAME	16-136
C-1.1	REV 9
SHEET NO.	REVISION