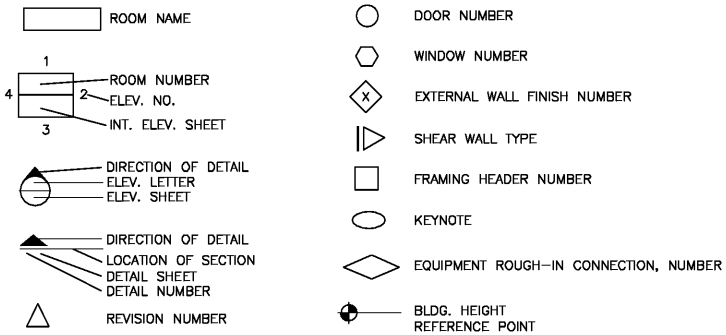


**PROJECT GENERAL NOTES**

- FIELD VERIFY ALL DIMENSIONS.
- NOT USED.
- REPLACE OR REPAIR DAMAGED, DETERIORATED OR UNSUITABLE SUBSTRATES AS REQUIRED TO RECEIVE NEW WALL FINISHES AS SCHEDULED.
- NOT USED.
- NOT USED.
- CUT, REMOVE AND REPLACE EXISTING CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF NEW UNDERFLOOR PIPING AND CONDUIT.
- ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS.
- ALL REMODELED BUILDING ELEMENTS INCLUDED AS PART OF THIS PROJECT SHALL COMPLY WITH THE MOST CURRENT EDITION OF BUILDING CODE, AND LOCAL CODE.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE BUILDING'S STRUCTURAL SYSTEM. STRUCTURAL MEMBERS, INCLUDING BEARING AND SHEAR WALLS, SHALL NOT BE REMOVED, CUT OR OTHERWISE MODIFIED WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS AND SHALL IMMEDIATELY NOTIFY OWNER'S REPRESENTATIVE OF ANY VARIANCE OR DISCREPANCY AFFECTING NEW CONSTRUCTION.
- GENERAL CONTRACTOR SHALL COORDINATE EXISTING STRUCTURE WITH NEW CONSTRUCTION INCLUDING MECHANICAL, FIRE PROTECTION AND ELECTRICAL WORK.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES AND OTHER DEVICES REQUIRED.
- ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
- VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
- THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING PARTITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD.
- UPON COMPLETION OF PROJECT, OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL JURISDICTIONS AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
- THESE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
- ALL MEANS OF EGRESS AND FIRE PROTECTION SHALL BE MAINTAINED AT ALL TIMES AND ANY SHUT DOWN OF LIFE SAFETY OR BUILDING SYSTEMS SHALL BE APPROVED AND COORDINATED IN ADVANCE WITH THE OWNER AND LOCAL BUILDING DEPARTMENT.
- GENERAL CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS FOR DETAILS 2, 5, 9, 10, AND 15/AB TO DETERMINE FOR CONNECTING TO STRUCTURE ABOVE.
- ALL CHANGE ORDER REQUESTS SHALL BE SUBMITTED IN WRITING TO NPC PROJECT MANAGER FOR APPROVAL PRIOR TO MAKING ANY CHANGES.
- G.C./SUBCONTRACTORS ARE RESPONSIBLE FOR MECHANICAL, ELECTRICAL AND PLUMBING PERMITS.

**SYMBOLS**



**ABBREVIATIONS**

A.B. ANCHOR BOLT	F.P. FIRE PROOF	REIN. REINFORCING
A.T. ACOUSTICAL TILE	FLASH FLASHING	REQ'D. REQUIRED
ADJ. ADJUSTIBLE	FLR. FLOOR	RET. RETURN
A.F.F. ABOVE FINISH FLOOR	F.D. FLOOR DRAIN	R.A. RETURN AIR
A.C. AIR CONDITIONING	F.S. FLOOR SINK	REV. REVERSE
ANOD. ANODIZED	FT. FOOT	RCP REFLECTED CEILING PLAN
ALUM/AL ALUMINUM	FDG. FOOTING	R.D. ROOF DRAIN
APPROX. APPROXIMATE	FTN. FOUNDATION	ROOF'G. ROOFING
BD. BOARD	GA. GAUGE	RM. ROOM
BM. BEAM	G.C. GENERAL CONTRACTOR	R.O. ROUGH OPENING
BLK. BLOCK	GEN. GENERAL	S.E. SATIN ENAMEL
BLK'G. BLOCKING	G.I. GALVANIZED IRON	SCHED. SCHEDULE
BOT. BOTTOM	GL. GLASS; GLAZING; GLAZED	SECT. SECTION
BLDG. BUILDING	GR. GRADE	S.G.E. SEM-GLOSS ENAMEL
B.N. BOUNDARY NAIL	GYP. GYPSUM	SHT'G. SHEATHING
CAB. CABINET	HDWD. HARDWOOD	SHT. SHEET
CLG. CEILING	HDWE. HARDWARE	S.C.R. SILICONE CONTROL RECTIFIER
CEM. CEMENT	H.D. HUB DRAIN	SIM. SIMILAR
C.F. CURB FACE	HT. HEIGHT	SK. SINK
CL. CENTERLINE	H.M. HOLLOW METAL	S.D. SOAP DISPENSER
C.T. CERAMIC TILE	HORIZ. HORIZONTAL	S.O.H. SAME OPPOSITE HAND
CLR. CLEAR	I/F. INTERFACE	SOL. SOLID
COL. COLUMN	INS. INSULATE; INSULATION	SQ. SQUARE
CONC. CONCRETE	INT. INTERIOR	S.S. S/S STAINLESS STEEL
C.B. CONCRETE BLOCK	JNT. JOINT	S.S.D. SEE STRUCTURAL DWGS
CONST. CONSTRUCTION	JST. JOIST	STD. STANDARD
CONT. CONTINUOUS	LAM. LAMINATE; LAMINATED	STL. STEEL
C.J. CONTRACTION OR CONTROL JOINT	LGT. LIGHTING	STOR. STORAGE
CONTR. CONTRACTOR	MFR. MANUFACTURER	ST. STREET; STRAIN
CORR. CORRIDOR	MAT'L. MATERIAL	STRUCT. STRUCTURAL
CTRD. CENTERED	MAX. MAXIMUM	SUSP. SUSPEND; SUSPENDED
DP. DEEP	MECH. MECHANICAL	SW. SWITCH
DET. DETAIL	MEMB. MEMBRANE	SYS. SYSTEM
DIAG. DIAGONAL	MET/MTL METAL	TEL. TELEPHONE
DIA. DIAMETER	M.L. METAL LATH	TERM. THERMOSTAT
DIM. DIMENSION	MIN. MINIMUM	THICK. THICK
DR. DOOR	MISC. MISCELLANEOUS	TRU. THROUGH
DBL. DOUBLE	MLDG. MOULDING	T.O. THROUGH
D.N. DOWN	N.A. NOT APPLICABLE	T.O. THROUGH
D.S. DIRECTIONAL SIGN	N/A. NOT APPLICABLE	T.O. THROUGH
DT. DRIVE-THRU	N.I.C. NOT IN CONTRACT	T.O. THROUGH
DWG. DRAWING	N.T.S. NOT TO SCALE	T.O. THROUGH
EA. EACH	NO. NUMBER	T.O. THROUGH
E.S. EACH SIDE	O. OWNER	T.O. THROUGH
E.I.F.S. EXTERIOR INSULATION & FINISH SYSTEM	OFF. OFFICE	T.O. THROUGH
ELEC. ELECTRICAL	O. ON CENTER	T.O. THROUGH
E.P. ELECTRICAL PANEL	OFF. OFFER FURNISHED	T.O. THROUGH
EL. ELEVATION (GRADE)	CON. CON. INSTALLED	T.O. THROUGH
ELEV. ELEVATION (BLDG.)	OPN'G. OPENING	T.O. THROUGH
EDGE NAIL	OPPOSITE	T.O. THROUGH
ENCLOSURE	OVERALL	T.O. THROUGH
ENRG. ENERGY MANAGEMENT SYSTEM	O.A.H. OVERALL HEIGHT	T.O. THROUGH
E.P.C. ECCENTRIC POST CAP	O.H. OVERHEAD	T.O. THROUGH
EQ. EQUAL	P.C. POST CAP	T.O. THROUGH
EQUIP. EQUIPMENT	P.C.C. PORTLAND CEMENT CONCRETE	T.O. THROUGH
EXH. EXHAUST	P.G. PAINT GRADE	T.O. THROUGH
EXIST. EXISTING	P.H. PIZZA HUT	T.O. THROUGH
E.J. EXPANSION JOINT	PR. PAIR	T.O. THROUGH
EXP. EXPOSED; EXPANSION	PNL. PANEL	T.O. THROUGH
EXT. EXTERIOR	PART. PARTITION	T.O. THROUGH
FIN. FINISH	PERF. PERFORATION	T.O. THROUGH
F.R.P. FIBERGLASS REINFORCED PANEL	PLAS. PLASTER	T.O. THROUGH
F.F. FINISH FLOOR	PIDF. PRESSURE TREATED DOUGLAS FIR	T.O. THROUGH
F.E. FIRE EXTINGUISHER	PLYWD. PLYWOOD	T.O. THROUGH
F.E.C. FIRE EXTINGUISHER CABINET	PROP. PROPERTY	T.O. THROUGH
	P.L. PROPERTY LINE	T.O. THROUGH
	P.V.C. POLY VINYL CHLORIDE	T.O. THROUGH
	R. RISER	T.O. THROUGH
	REFR. REFRIGERATOR	T.O. THROUGH
	R.S. ROUGH SAWN	T.O. THROUGH

LEGAL JURISDICTION: WETUMPKA, AL

APPLICABLE CODES:

- BUILDING CODE: 2015 INTERNATIONAL BUILDING CODE
- PLUMBING CODE: 2015 INTERNATIONAL PLUMBING CODE
- MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE
- ELECTRICAL CODE: 2014 NATIONAL ELECTRICAL CODE
- ENERGY CODE: 2015 INTERNATIONAL ENERGY CODE
- FIRE CODE: 2015 INTERNATIONAL FIRE CODE
- ACCESSIBILITY CODE: 2009 ICC ANSI A117.1

GROSS LEASE AREA: 2,474 SQ. FT.  
SEATING: 33 SEATS  
OCCUPANCY GROUP: B

**PROJECT DIRECTORY**

NOTE: CONTACT GARY PERKINS (INFO@PIZZA HUT) FOR ALL BID INQUIRIES ON THIS PROJECT.

<b>OWNER:</b> NPC INTERNATIONAL 7300 W. 129TH ST. OVERLAND PARK, KANSAS 66213 PHONE: (913) 327-5555 FAX: (913) 327-5550	<b>ARCHITECT:</b> LICKEL ARCHITECTURE 14 WEST 3RD STREET KANSAS CITY, MISSOURI 64105 PHONE: (816) 421-0707 FAX: (816) 421-2191 CONTACT: DAN LICKEL
<b>NPC PROJECT MANAGER:</b> GARY PEAK 603 BIRCH LANE KERNERSVILLE, NC 27284 PHONE: (336) 287-7705	<b>MECHANICAL/ELECTRICAL ENGINEER:</b> BRIAN TIMMONS 14817 WEST 95TH. ST. LENEXA, KANSAS 66215 PHONE: (913) 322-5150
<b>BUILDING DEPT.:</b> CITY OF WETUMPKA 408 S. MAIN STREET WETUMPKA, AL 36092 PHONE: (334) 567-1303 CONTACT: JOHN STRICKLAND	

**SCOPE OF PROJECT**

THIS IS A TENANT LEASE AND IMPROVEMENT IN AN EXISTING BUILDING. OPERATION IS A PIZZA CARRY-OUT RESTAURANT. PARKING, INCLUDING ACCESSIBLE SPACES, IS EXISTING AND IS THE RESPONSIBILITY OF THE LANDLORD.

**SHEET INDEX**

**TITLE**

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- A1 ARCHITECTURAL FLOOR PLAN
- A2 EQUIPMENT PLAN
- A2.1 EQUIPMENT SCHEDULE
- A3 FINISH SCHEDULE
- A4 INTERIOR ELEVATIONS AND RESTROOM ELEVATIONS
- A5 INTERIOR WALL FINISH PLAN
- A7 REFLECTED CEILING PLAN
- A9 ROOF PLAN AND RELATED DETAILS
- A11 MISC. DETAILS
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- A11.2 MISC. DETAILS

**MECHANICAL**

- M1.0 H.V.A.C. NOTES AND SCHEDULES
- M2.0 H.V.A.C. PLAN
- M3.0 H.V.A.C. DWGS
- M3.1 H.V.A.C. DWGS
- M3.2 H.V.A.C. DWGS
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- M5.0 H.V.A.C. DETAILS
- M5.1 H.V.A.C. SPECIFICATIONS

**ELECTRICAL**

- E1.0 POWER ROOF PLAN
- E2.0 LIGHTING PLAN & SCHEDULE
- E3.0 TELECOM PLAN
- E4.0 PANEL SCHEDULE & RISER DIAGRAM
- E5.0 ELECTRICAL DETAILS

**PLUMBING**

- P1.0 PLUMBING SCHEDULES
- P2.0 WASTE AND VENT PLAN
- P3.0 GAS AND WATER PLAN
- P4.0 PLUMBING DETAILS

**SPECIFICATIONS**

SPECIFICATIONS PROVIDED ON A CD IN BOOK FORMAT.

**VICINITY MAP**



DATE: 10/10/18  
NO: 1845  
DRAWN: FS  
CHECKED: DL

TITLE SHEET



**PIZZA HUT #1845**  
5229 US HWY 231  
WETUMPKA, ALABAMA



SHEET NUMBER  
**T1**

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