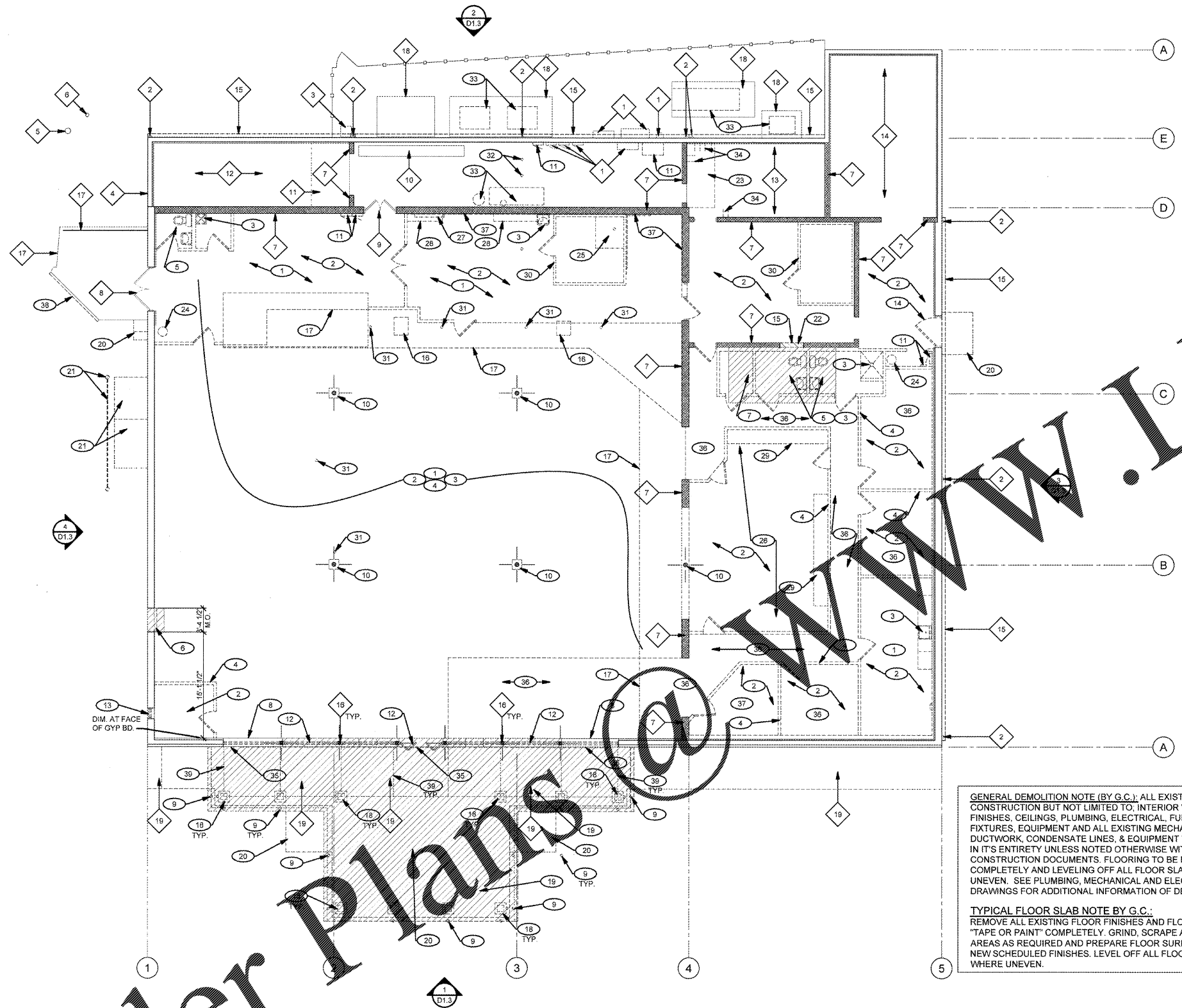


Order Plans



**1 DEMOLITION FLOOR PLAN**  
D1.1 SCALE: 1/8" = 1'-0"



**GENERAL DEMOLITION NOTES:**

- REFER TO ARCHITECTURAL GENERAL SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- CONCRETE SLAB SAW CUT NOTE:** PRIOR TO MODIFYING THE EXISTING CONCRETE SLAB CONSTRUCTION IN ANY WAY, INCLUDING BUT NOT LIMITED TO CUTTING, DRILLING, OR ROUTING, THE GENERAL CONTRACTOR SHALL OBSERVE EXISTING CONCRETE SLAB(S) THROUGHOUT THE PLANNED AREA OF WORK AND SUBMIT EVIDENCE TO THE PROJECT ARCHITECT/ENGINEER OF RECORD ILLUSTRATING THE TYPE(S) OF SLAB CONSTRUCTION, I.E. "SLAB ON GRADE," "REINFORCED STRUCTURAL CONCRETE," ETC. THE SLAB CONSTRUCTION SHALL NOT BE MODIFIED UNTIL THE ARCHITECT/ENGINEER OF RECORD PROVIDES RESPECTIVE WRITTEN DIRECTIVE.
- EXISTING INSULATION:** UPON COMPLETION OF DEMOLITION, THE GENERAL CONTRACTOR SHALL CONTACT THE PROFESSIONAL OF RECORD IMMEDIATELY IF KRAFT-FACED INSULATION IS DISCOVERED.
- ADA ACCESSIBLE ENTRY / EXIT DOOR NOTE:** THE GENERAL CONTRACTOR SHALL FIELD VERIFY EXISTING GRADES AND SLOPES AT ALL EXISTING AND NEW EXTERIOR DOOR LOCATIONS. IF A CONCRETE WALKWAY EXISTS, THE GENERAL CONTRACTOR TO CONFIRM PRIOR TO DEMOLITION THAT THE NEW DOOR SILL LOCATION IS FLUSH WITH EXISTING WALKWAY / FINISH FLOOR AND SLOPES NOT TO EXCEED 2% IN ALL DIRECTIONS. THE GENERAL CONTRACTOR TO REMOVE AND REPLACE PARTIAL CONCRETE WALKWAY AS REQUIRED TO MEET THE ABOVE CRITERIA. IF THE ABOVE CRITERIA CANNOT BE MET DUE TO FIELD CONDITIONS, THE GENERAL CONTRACTOR IS TO CONTACT THE ARCHITECT FOR POSSIBLE NEW LOCATION OF DOOR OPENING. WHERE CONCRETE WALKWAY DOES NOT EXIST, PROVIDE A 5'-0" (MIN.) WALKWAY EXTENDING OUT FROM BUILDING AND EXTENDING 24" (MIN.) BEYOND PULL SIDE OF DOOR AND 1'-0" HINGE SIDE OF DOOR WITH SLOPES NOT TO EXCEED 2% IN ALL DIRECTIONS UNLESS NOTED OTHERWISE.
- REMOVE ALL EXISTING SITE CONSTRUCTION AND DEBRIS MATERIALS UNLESS OTHERWISE NOTED.
- SEE M.E.P. AND STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION SCOPE AND REQUIREMENTS.

**# EXISTING TO REMAIN KEYNOTES**

- ELECTRICAL PANELS AND EQUIPMENT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- DOWNSPOUT
- WATER METER
- WATER BIBB
- WATER METER
- UTILITY POLE WITH RELATED ELECTRIC TRANSFORMERS
- CMU WALL
- DOUBLE WINDOWS
- DOUBLE SWINGING DOORS
- 18 1/2" x 15" x 18" DEEP TRENCH, COVER WITH 1/4" DIAMOND STEEL PLATE. OVERLAP PLATE AT OPENING.
- CONCRETE RAMP
- GYP. BD. CEILING @ 10'-1" A.F.F. (V.I.F.)
- GYP. BD. CEILING @ 7'-11" A.F.F. (V.I.F.)
- GYP. BD. CEILING @ 9'-11" A.F.F. (V.I.F.)
- GUTTER
- METAL COLUMN TO REMAIN
- LOADING DOCK AND GUARDRAIL
- CONCRETE PAD
- SIDEWALK ADJACENT TO BUILDING. REFER TO CIVIL DRAWINGS.

**# DEMOLITION KEYNOTES**

- REMOVE TILE FLOORING IN ITS ENTIRETY AND PREPARE CONCRETE SURFACE TO RECEIVE SCHEDULED FLOOR FINISH. REFER TO FINISH SCHEDULE FOR FINISH INFORMATION.
- REMOVE CEILING SYSTEM IN ITS ENTIRETY INCLUDING BUT NOT LIMITED TO: CEILING SYSTEM, CEILING SUPPORTS, LIGHT FIXTURES, DIFFUSERS, CAMERAS, FANS, ETC. REFER TO M.E.P. DRAWINGS FOR ADDITIONAL REQUIRED AREAS TO BE DEMOLISHED.
- REMOVE EXISTING PLUMBING FIXTURES AND ACCESSORIES IN THEIR ENTIRETY. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING PARTITION WALLS AND DOORS IN THEIR ENTIRETY. REFER TO FLOOR PLAN SHEET A1.1 FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING RESTROOMS IN THEIR ENTIRETY, INCLUDING BUT NOT LIMITED TO: PARTITIONS AND PLUMBING FIXTURES AND ACCESSORIES. REFER TO M.E.P. DRAWINGS FOR ADDITIONAL INFORMATION.
- SAW CUT AND REMOVE PORTION OF EXISTING EXTERIOR C.M.U. WALL AND CONCRETE FLOOR SLAB / SIDEWALK AS REQUIRED FOR INSTALLATION OF NEW DOOR OR STOREFRONT. SEE FLOOR PLAN AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- SAW CUT AND REMOVE PORTION OF CONCRETE FLOOR SLAB AS REQUIRED FOR PLUMBING.
- SAW CUT AND REMOVE EXISTING EXTERIOR C.M.U. WALL. SEE FLOOR PLAN AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE STEEL BOLLARD IN ITS ENTIRETY. SAW CUT SIDEWALK AS REQUIRED FOR REMOVAL AND PREPARE GRADE FOR NEW CONCRETE SIDEWALK INFILL.
- REMOVE EXISTING ENCLOSURE FOR STEEL COLUMN. REMOVE ALL DECALS, COLUMN PROTECTION GUARDS, ELECTRIC OUTLETS, ETC. AND PREPARE SURFACE STEEL COLUMN TO RECEIVE NEW PAINT FINISH. REFER TO FLOOR PLAN SHEET A1.1 FOR ADDITIONAL INFORMATION.
- REMOVE EXISTING ELECTRICAL SYSTEMS IN THEIR ENTIRETY. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- REMOVE PORTION OF EXISTING STOREFRONT SYSTEM AND PREPARE ADJACENT SURFACES FOR INSTALLATION OF NEW STOREFRONT VESTIBULE SYSTEM.
- REMOVE PORTION OF EXISTING WINDOW AND PREPARE ADJACENT SURFACES WITH NEW E.I.F.S. AND INFILL WITH 6" METAL STUDS.
- REMOVE EXISTING HOLLOW METAL DOOR AND FRAME IN ITS ENTIRETY. PREPARE ADJACENT SURFACES FOR INSTALLATION OF NEW HOLLOW METAL DOOR AND FRAME.
- SAW CUT AND REMOVE PORTION OF EXISTING C.M.U. WALL AND CONCRETE FLOOR SLAB. PREPARE SURFACES FOR INSTALLATION OF NEW DOOR. SEE STRUCTURAL.
- REMOVE PLATE COVERS ON FLOOR AND FILL OPENING WITH CONCRETE FLUSH WITH ADJACENT FLOOR.
- REMOVE DROP DOWN CEILING TILE SOFFIT.
- REMOVE MASONRY COLUMN.
- REMOVE CANOPY AND ALL RELATED MATERIALS, PATCH AS REQUIRED.
- REMOVE SIDEWALK. REFER TO CIVIL DRAWINGS.
- REMOVAL OF CONCRETE PAD, RAILING AND BOLLARDS. REFER TO CIVIL DRAWINGS.
- REFER TO 2/A1.1 FOR MASONRY OPENING DIMENSION.
- PREP CONCRETE SLAB TO MATCH EXISTING CONCRETE COLOR AND FINISH. SURFACES TO BE CLEAN FLUSH FINISH WITH ADJACENT SURFACES. REFER TO FLOOR PLAN.
- REMOVE CENTRAL VACUUM CLEANER WITH PIPING AND ELECTRICAL.
- DEMO TILE PLATFORM AND REMOVE FLOOR DRAIN, CAP FLUSH WITH FINISHED FLOOR.
- REMOVE WOOD FRAMING PLATFORM.
- REMOVE ALL PLUMBING PIPING AND ATTACH ACCESSORIES.
- REMOVE SOFFIT ENCLOSURE FOR HVAC DUCT. SEE MECHANICAL.
- REMOVE ADJUSTABLE SHELVING.
- REMOVE COOLER ENCLOSURE.
- REMOVE FLOOR DRAIN/CLEANOUT AND FILL TO MATCH ADJACENT FLOOR FINISH.
- REMOVE STEEL JACK POST. (HOLDING UP MECH. BEING REMOVED)
- REMOVE MECH. UNITS. SEE MECHANICAL DRAWINGS.
- REMOVE METAL HOOKS ON WALL.
- REMOVE EXTERIOR BRICK VENEER. PREP CMU WALL FOR NEW PORTAL. SEE SHEET A3.1.

**GENERAL DEMOLITION NOTE (BY G.C.):** ALL EXISTING INTERIOR CONSTRUCTION BUT NOT LIMITED TO: INTERIOR WALLS, FLOOR FINISHES, CEILINGS, PLUMBING, ELECTRICAL, FURNITURE, FIXTURES, EQUIPMENT AND ALL EXISTING MECHANICAL SYSTEMS, DUCTWORK, CONDENSATE LINES, & EQUIPMENT TO BE REMOVED IN ITS ENTIRETY UNLESS NOTED OTHERWISE WITHIN THIS SET OF CONSTRUCTION DOCUMENTS. FLOORING TO BE REMOVED COMPLETELY AND LEVELING OFF ALL FLOOR SLAB AREAS WHERE UNEVEN. SEE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION OF DEMOLITION SCOPE.

**TYPICAL FLOOR SLAB NOTE BY G.C.:**  
REMOVE ALL EXISTING FLOOR FINISHES AND FLOOR STRIPING "TAPE OR PAINT" COMPLETELY. GRIND, SCRAPE ALL FLOOR AREAS AS REQUIRED AND PREPARE FLOOR SURFACE TO RECEIVE NEW SCHEDULED FINISHES. LEVEL OFF ALL FLOOR SLAB AREAS WHERE UNEVEN.

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**O'Reilly AUTO PARTS**

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**PROJECT:**  
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**103 E. GORDON AVE.**  
**GORDONSVILLE, VA 22942**

**DEMOLITION FLOOR PLAN**

Professional of Record  
Mark S. Brommer  
License #015841  
Exp. Date: 11/30/19  
Professional of Record

DRAWN: RLJ  
CHECKED: MGC  
DATE: 10-17-2018  
JOB NO.: 118168 (GDV)  
SHEET:

**D1.1**

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