

LEGEND:

	EXISTING	PROPOSED
BLDG. STRUCTURE		NOT USED
SPOT ELEVATION		
TREE/SHRUB		
CONTOUR		
STORM DRAIN		NOT USED
SANITARY SEWER		NOT USED
OVERHEAD POWER		NOT USED
DITCH/SWALE		
FENCE		
CONCRETE		
ASPHALT DRIVEWAY		
CONCRETE CURB & GUTTER		NOT USED
BENCHMARK		

SURVEY NOTES:

- PARCEL ID # H04-066 & H04-065
- ACCORDING TO FIRM PANEL 13073C0220D EFFECTIVE DATE SEPTEMBER 19, 2007, THE LOT IS NOT LOCATED IN THE 100 YEAR SPECIAL FLOOD HAZARD AREA SUBJECT TO 1% ANNUAL CHANCE FLOOD.
- SURVEY CONDUCTED BY JOHNSON, LASCHNER & ASSOCIATES, P.C. ON JANUARY 16, 2017 USING A TOPCON ES-105
- BOUNDARY AND PROPERTY LINES WERE NOT RESEARCHED AT THE TIME OF THE SURVEY, NOR WERE PROPERTY CORNERS LOCATED. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS, SETBACKS, OR REGULATIONS NOT SHOWN BUT WHICH MAY BE ON RECORD IN THE CLERK OF COURTS OFFICE.
- ALL HORIZONTAL COORDINATES HEREON ARE BASED ON ASSUMED COORDINATE SYSTEM.
- VERTICAL DATUM IS BASED ON THE ASSUMED ELEVATION OF THE EXISTING COLUMBIA THEATRE FINISHED FLOOR ELEVATION MEASURED AT THE SOUTHEASTERN DOOR THRESHOLD.
- STATE WATERS ARE NOT PRESENT WITHIN 200 LINEAR FEET OF THE PROJECT.
- OVERHEAD POWER AND IRRIGATION, IF ANY, ARE NOT SHOWN FOR CLARITY.
- UNDERGROUND UTILITY SURVEY WAS NOT CONDUCTED AT THE TIME OF THE SURVEY. ALL UTILITIES SHOULD BE FIELD VERIFIED BEFORE ANY CONSTRUCTION OR EXCAVATION BEGINS.

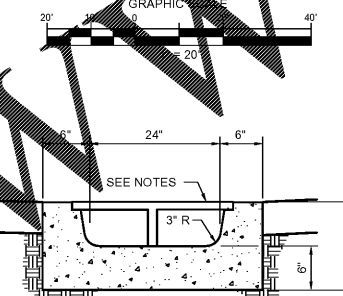
SITE NOTES:

- TOTAL PAVED AREA = 40,45 ACRES
 EXISTING IMPERVIOUS AREA = 6,500 SF
 PROPOSED IMPERVIOUS AREA = 9,600 SF
 INCREASED IMPERVIOUS AREA = +3,100 SF
- PARKING COURT
 EXISTING = 22 SPACES + 2 HANDICAP ACCESSIBLE
 PROPOSED = 21 SPACES + 2 HANDICAP ACCESSIBLE
- BUILDING COORDINATES ARE APPROXIMATE. USE ARCHITECTURAL DRAWINGS FOR ADDITIONAL BUILDING INFORMATION, DIMENSIONS AND SIDEWALK LOCATIONS.
- ALL DIMENSIONS AND/OR COORDINATES (IF ANY) ARE FROM FACE OF CURB, EDGE OF CONCRETE AND/OR FACE OF BUILDING. COORDINATE ALL CONCRETE JOINTS, SCORING PATTERNS, TEXTURE & COLOR WITH ARCHITECT.
- PROVIDE 2'-6" SCHED. 40 PVC TYP. AT ROAD CROSSINGS, SIDEWALKS AND CURB ISLANDS. SEE DETAIL BELOW.
- EXTERIOR LIGHTING PLAN BY OTHERS.
- HANDICAP PARKING ARE TO BE ADA COMPLIANT. SEE BELOW.
- ALL PAVEMENT MARKINGS AND SIGNAGE ARE TO BE IN ACCORDANCE WITH GEORGIA D.O.T. AND M.U.T.C.D.
- ALL DISTURBED AREAS, NOT TO BE PAVED, ARE TO BE GRASSED TO MATCH THE NORTHERN ADJACENT PROPERTY, UNLESS OTHERWISE INSTRUCTED BY THE OWNER.
- THE CONTRACTOR IS TO PROTECT AND MAINTAIN ALL EXISTING UTILITY, STREET RIGHT-OF-WAY, AND LANDSCAPING SHRUBS UNLESS OTHERWISE NOTED. ANY EXISTING UTILITIES AND/OR LANDSCAPING SHALL BE REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- CONTRACTOR TO RELOCATE IRRIGATION AS NEEDED FOR PARKING.

ABBREVIATIONS:

LP	LIGHT POLE
A/C	AIR CONDITIONING UNIT
PM	POWER METER
I.E.	INVERT (PUMP)
GI	GRATE INLET
WM	WATER METER
WV	WATER VALVE
GV	NATURAL GAS VALVE
FH	FIRE HYDRANT

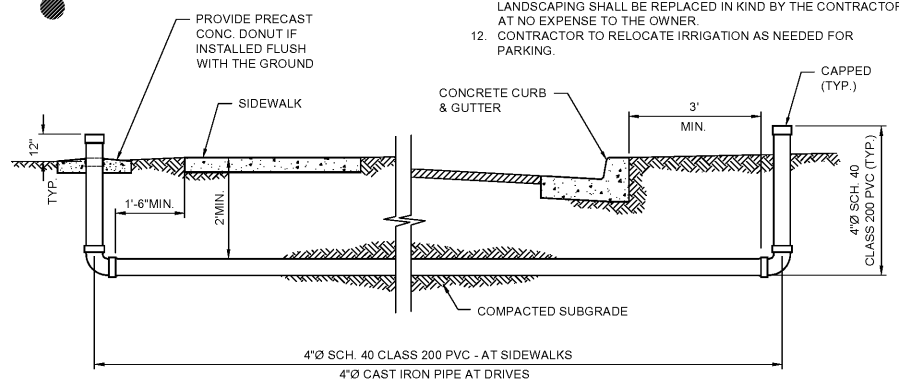
SITE MAINTENANCE PLAN



NOTE:
 1. SIDEWALK GRATE TO BE 24" WIDE STANDARD ADA BY URBAN ACCESSORIES, OR APPROVED EQUAL.
 2. INSTALLATION OF SIDEWALK GRATE TO BE PER MANUFACTURER SPECIFICATIONS.

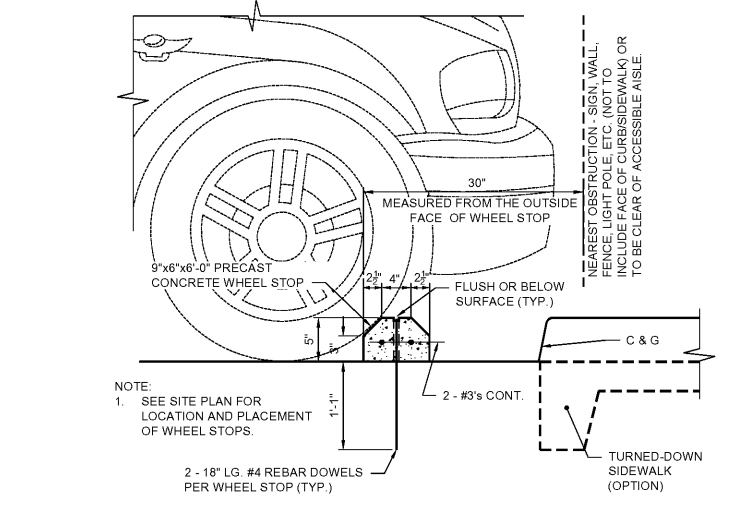
TYPE "A" CONCRETE FLUME DETAIL

NO SCALE



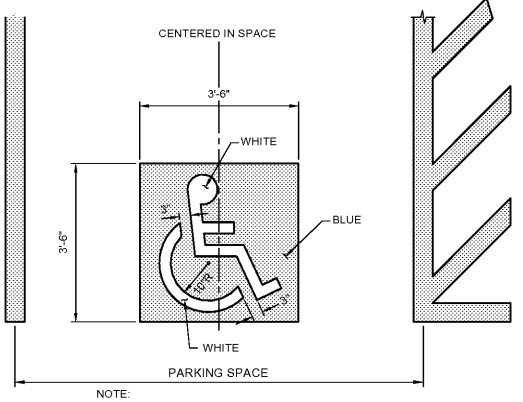
TYP. PIPE SLEEVING (CONDUIT ACCESS) DETAIL

NO SCALE



CONCRETE WHEEL STOP DETAIL

NO SCALE



HDCP. PARKING SPACE EMBLEM

NO SCALE

UTILITIES PROTECTION CENTER
GEORGIA 811
 Call before you dig.
 THREE WORKING DAYS BEFORE YOU DIG
 (GEORGIA - 1-800-282-7411)

UTILITY WARNING:
 The underground utilities shown have been located from field survey information and existing drawings. The engineer makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The engineer further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The engineer has not physically located the underground utilities.

JOHNSON, LASCHNER & ASSOCIATES, P.C.
 ARCHITECTS, ENGINEERS & SURVEYORS
 13073 COLUMBIA ST., HARLEM, GA 30814
 TEL: (706) 724-5756 • TEL: (843) 619-4656
 FAX: (706) 724-3955
 WWW.THEJLAGROUP.COM

CLIENT: COLUMBIA COUNTY
 PROJECT NAME: CONSTRUCTION AND FACILITIES MANAGEMENT
HARLEM THEATRE RENOVATION PROJECT
 PROJECT LOCATION: THEATRE COLUMBIA - 135 N LOUISVILLE ST., HARLEM, GA 30814

PROFESSIONAL SEAL
 GEORGIA
 REGISTERED PROFESSIONAL ENGINEER
 JUSTIN D. PUNCIER
 06/14/18

REV.	DATE	BY	DESCRIPTION
1	06/14/18	JDP	RE-ISSUE FOR CONSTRUCTION
0	05/09/18	JDP	ISSUED FOR CONSTRUCTION

PROJECT NO. 3045.1704
 DRAWN BY: JDP
 CHECKED BY: TAW
 DATE: 01/16/18
 SHEET TITLE: **SITE MAINTENANCE PLAN**
 SCALE: 1" = 20'
 DRAWING NO. **C-101** REV. **1**