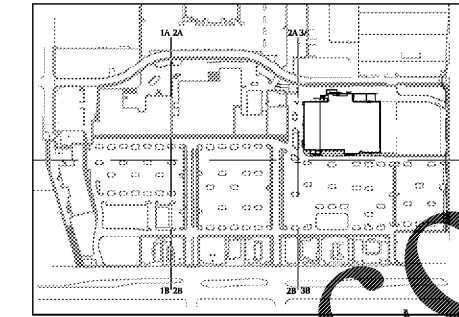
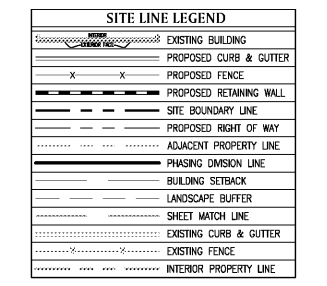
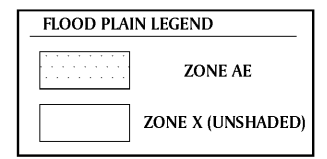


15/01/2016 10:00 AM C:\Users\paulson\Documents\2016\1602\1602-02.dwg, ARCH FILE, BLDG 0, (SHEET 1 OF 2) 1602-02.dwg, SCALE: 1/8"=1'-0", DATE: 01/11/2016 10:00 AM



### SHEET LEGEND

- NOTE:
1. THE EXISTING LAND USE FOR THE SHOPPING CENTER'S RETAIL SHOPS AND OFFICE SPACE.
  2. THE PROPOSED LAND USE FOR THE SHOPPING CENTER IS RETAIL SHOPS.
  3. REUSE WILL BE COLLECTED TRASH RECEPTACLES PROVIDED FOR PUBLIC USE ALONG STORE FRONTS. ADA ACCESSIBLE, AND PERIODICALLY WITHIN THE PARKING FIELD. THESE RECEPTACLES SHALL BE AS SPECIFIED BY THE OWNER'S ARCHITECT FOR TYPE, MAKE, AND PLACEMENT.
  4. ALL SITE TREATMENTS SUCH AS PAVEMENT MATERIALS (USED TO DESIGNATE VARIOUS PEDESTRIAN CIRCULATION ROUTES, SUCH AS BUILDING ENTRANCES/PLAZA AREAS, SIDEWALK PATHS, CROSSWALKS, ETC.), PEDESTRIAN AMENITIES, SHOPPING CARTS, BIKES, AND SITE FURNISHINGS (E.G. BIKE RACKS, TRASH RECEPTACLES, BENCHES, BATTERS, ETC.) MUST BE IN COMPLIANCE WITH DESIGN GUIDELINES.
  5. DECORATIVE ACORN ORNAMENT TO BE DESIGNED BY DVP AND SUBJECT TO APPROVAL BY THE COMMUNITY DEVELOPMENT DIRECTOR.



PHASE 2 - SITE ANALYSIS	
PROPOSED BUILDINGS:	
GROCERY	106,404 S.F.
FUTURE RETAIL	± 50,000 S.F.
TOTAL BUILDING AREA	± 156,404 S.F.
NEW/RE-STRIPING PARKING	648 SPACES
ACCESSIBLE SPACES	18 SPACES (2.7%)
PARKING RATIO	± 4.14 / 1000 S.F.
* PHASE 1 PROPOSED BUILDING AREA	± 228,695 S.F.
* NEW/RE-STRIPING PARKING	973 SPACES
* PARKING RATIO (PHASE 1 & 2)	± 4.16 / 1000 S.F.
EXISTING IMPERVIOUS SURFACES	11.55 ACRES (84%)
PROPOSED IMPERVIOUS SURFACES	12.22 ACRES (89%)
GREEN AREAS/ISLANDS IN PROPERTY	1.55 ACRES (11%)
GREEN AREAS/ISLANDS IN PARKING LOT	0.77 ACRES (10.9%)
GREEN AREAS IN DISTURBED AREA	1.71 ACRES (12.2%)
TOTAL PHASE 2 LAND AREA	13.77 ACRES

**PAULSON MITCHELL**  
INCORPORATED  
200 HILL STREET  
ROSWELL, GEORGIA 30075  
VOICE 770.650.7685  
FAX 770.650.7684  
www.paulsonmitchell.com

PROJECT:  
**RIVERPOINTE PLAZA PHASE 2**  
1048 & 1050 W. MERCURY BLVD.  
HAMPTON, VIRGINIA 23666

FOR:  
**KB RIVERDALE, LLC**  
2743 PERIMETER PARKWAY  
BLDG. 100, SUITE 370  
AUGUSTA, GA 30909  
PH. (706) 854-6714

REVISIONS		
▲	08.19.16	CITY COMMENTS
▲	10.04.16	CITY COMMENTS
▲	10.13.16	CITY COMMENTS
▲	02.01.17	CLIENT COMMENTS
▲	11.01.18	CLIENT COMMENTS



BEFORE YOU DIG, CALL MISS UTILITY 1-800-552-7071

**24 HR EMERGENCY CONTACT**  
**MARK SENN**  
MARK.SENN@SOUTHEASTERNCOMPANY.COM

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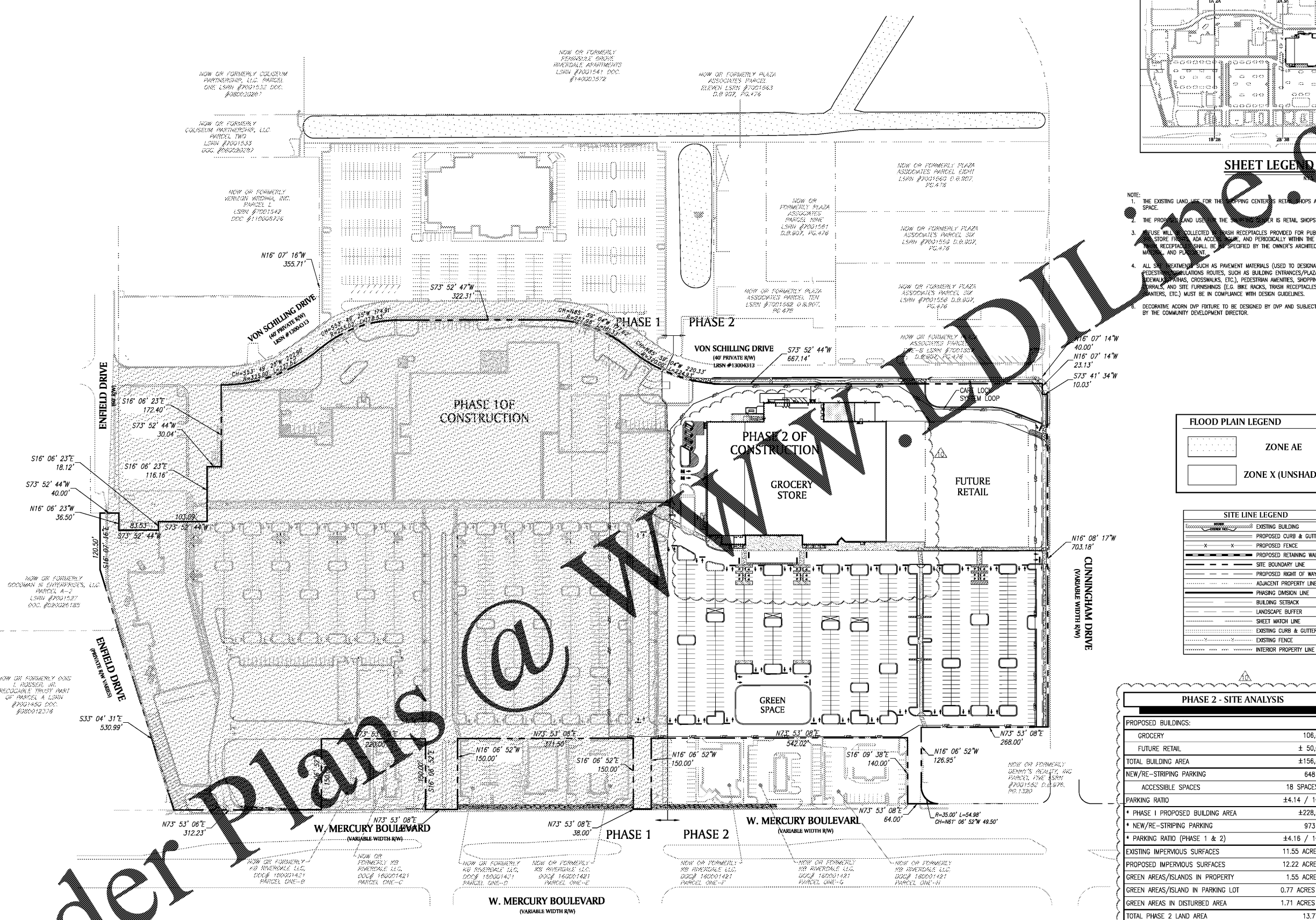
OVERALL SITE PLAN

SHEET **C-100**

SP 2016-0020

# Order Plans

# UNAVAILABLE



## OVERALL SITE PLAN

