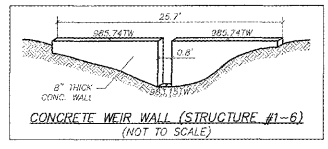


**LEGEND**

<p>1179 LAND LOT IDENTIFICATION</p> <p>STORM &amp; SEWER STRUCTURE IDENTIFICATION</p> <p>PARKING SPACE NUMBER</p> <p>MANHOLE</p> <p>PROPERTY CORNER</p> <p>BOLLARD</p> <p>DOOR SPOUT</p> <p>MAILBOX</p> <p>FLAG POLE</p> <p>TEMPORARY BENCHMARK</p> <p>UTILITY POLE</p> <p>LAMP POST</p> <p>POWER POLE W/LIGHT</p> <p>LIGHT STAND</p> <p>AC UNIT</p> <p>ELECTRIC BOX</p> <p>ELECTRIC METER</p> <p>UTILITY WIRE</p> <p>POWER POLE</p> <p>OVERHEAD TRAFFIC LIGHT</p> <p>TRAFFIC SIGNAL BOX</p> <p>LANDSCAPE LIGHT</p> <p>SANITARY SEWER MANHOLE</p> <p>CLEAN OUT</p> <p>CATCH BASINS</p> <p>DROP INLET</p> <p>JUNCTION BOX</p> <p>HEADWALL</p> <p>OUTLET CONTROL STRUCTURE</p> <p>YARD INLET SQUARE</p> <p>CABLE TV BOX</p> <p>TELEPHONE BOX</p> <p>TELEPHONE MANHOLE</p> <p>TELEPHONE MONUMENT</p> <p>GAS METER</p> <p>GAS VALVE</p> <p>IRRIGATION CONTROL VALVE</p> <p>POST INDICATOR VALVE</p> <p>WATER METER</p> <p>FIRE DEPARTMENT CONNECTION</p> <p>FIRE HYDRANT</p> <p>WATER VALVE</p>	<p>APPROXIMATE LOCATION OF UTILITY STRUCTURE (NOT FIELD VERIFIED)</p> <p>DECIDUOUS TREE</p> <p>BROADLEAF PEAR TREE</p> <p>ELM TREE</p> <p>HICKORY TREE</p> <p>HOLLY TREE</p> <p>MAPLE TREE</p> <p>OAK TREE</p> <p>PINE TREE</p> <p>POPLAR TREE</p> <p>PERISHWOOD TREE</p> <p>SWEET GUM TREE</p> <p>SYCAMORE TREE</p> <p>SOURWOOD TREE</p> <p>NOW OR FORMERLY</p> <p>RIGHT OF WAY</p> <p>FINISHED FLOOR ELEVATION</p> <p>CENTER LINE</p> <p>INVERT</p> <p>DUCTILE IRON PIPE</p> <p>POLYETHYLENE GLASS REINFORCED CONCRETE PIPE</p> <p>CORRUGATED PLASTIC PIPE</p> <p>CORRUGATED METAL PIPE</p> <p>SPOT ELEVATION</p> <p>CONTOUR ELEVATION</p> <p>FENCE LINE</p> <p>SANITARY SEWER LINE</p> <p>STORM DRAINAGE LINE PER REFERENCE PLAT (NOT FIELD LOCATED)</p> <p>OVERHEAD POWER LINE</p> <p>OVERHEAD TELEPHONE LINE</p> <p>OVERHEAD CABLE TELEVISION LINE</p> <p>APPROXIMATE LOCATION OF UNDERGROUND GAS LINE</p> <p>APPROXIMATE LOCATION OF UNDERGROUND POWER LINE</p> <p>APPROXIMATE LOCATION OF UNDERGROUND TELEPHONE LINE</p> <p>APPROXIMATE LOCATION OF UNDERGROUND WATER LINE</p> <p>METAL RAIL</p> <p>TREE LINE</p>
---	--



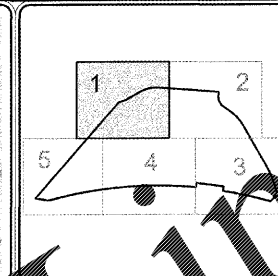
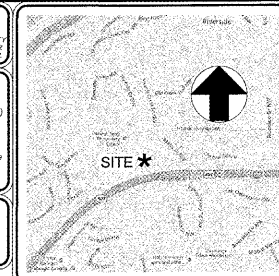
- MANHOLE TOP=998.57' INV IN (A 8\"/>

**ZONING: R-1**

Minimum Front Yard: 60'  
Minimum Side Yard: 40' (street side)/25' (interior)  
Minimum Rear Yard: 50'

**PARKING SUMMARY:**

Regular Parking Spaces:	Tract 1	Tract 2	Total
	431	72	473
Handicap Parking Spaces:	17	4	21
Total Parking Spaces:	416	76	494



**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/21/15	UPDATED SANITARY SEWER

4317 Park Drive, Suite 400  
Norcross, Georgia 30093  
Phone: (770)416-7511  
Fax: (770)416-6759  
www.travisprutt.com

**Travis Prutt & Associates, Inc.**  
Professional Engineer  
No. 2243



**UTILITY STATEMENT:**

Information regarding the reported presence, size, location and location of existing underground utilities and structures is shown hereon. There is no certainty of the accuracy of this information and it shall be considered in that light by those using this drawing. The location and structure shown hereon may be inaccurate and utilities and structures not shown may be encountered. The owner, his employees, his consultants and his contractors shall hereby be deemed to have accepted the surveyor is not responsible for the correctness or sufficiency of this information.

2. Underground utility research, field markings, size and character of material has been provided by UHSurvey, LLC, on May 21, 2015.

- NOTES:**
- This plot was prepared for the exclusive use of the person, persons, or entity named in the title block. Said use does not extend to any unnamed person without express permission by the surveyor naming said person.
  - The survey shown hereon was prepared without benefit of any abstract of title; therefore, H. Lanier Dunn and Travis Prutt & Associates, Inc. make no guarantee or representation regarding information shown hereon pertaining to easements, rights of way, setback lines, agreements, reservations, and other similar matters. This firm recommends an abstract of title be prepared and reviewed as an added element to this survey.
  - This survey is a retracement survey of existing tracts. This survey is not intended to create new tracts of land or change existing tracts of land. This survey is not a subdivision plot and has not been approved by the correct jurisdictional authorities.
  - Unless otherwise specified, all distances are shown on horizontal ground distances in U.S. survey feet (39.37 inches = 1 meter).

**CERTIFICATION:**

This is to certify that this survey was made under my supervision and is a true representation of the land surveyed. The field data upon which this survey is based has a closure precision of one foot in 61,233 feet and an angular error of 1\"/>

This map or plot has been calculated for closure and is found to be accurate within one foot in 316,361 feet.

*H. Lanier Dunn* 11-8-15  
Georgia Reg. Land Surveyor No. 2243  
For the Firm Travis Prutt & Associates, Inc.

- REFERENCE PLATS:**
- Plat of State Highway Department of Georgia Right of Way Map Project - 285-(6) Fulton County, dated February 1, 1958, last revised June 3, 1979.
  - Final Subdivision Plat for Heards Forest Unit I, recorded in Plat Book 117, Page 39.
  - Final Subdivision Plat for Heards Forest Unit Two recorded in Plat Book 122, Page 44.
  - Plat of property survey for Fulton County Board of Education prepared by Metts & Browning Engineers, dated February 1, 1958, last revised January 24, 1955.
  - Plat of property survey for Fulton County Board of Education prepared by Metts & Browning Engineers, dated November 30, 1971.
  - As-built drawings for Riverwood High School Gymnasium Addition & Practice Field, Football/Track Field & Accessory Buildings prepared by Gearty, Inc., dated February 10, 2006.
  - Construction plans for Riverwood High School Phase 2 prepared by Passalunghi & Boller, Inc., last revised January 23, 2006.
  - Plat of Site Layout & Grading Plan for Phase II Riverwood High School Auditorium Parking Lot Addition Component III, sheet C-2, prepared by Roberts and Collins Architects, last revised March 16, 1994.

PLAT DATE: JUNE 4, 2015  
FIELD DATE: MAY 21, 2015

SCALE: 1\"/>

Sheet No. 1 of 5



MATCH LINE (SEE SHEET 5)

MATCH LINE (SEE SHEET 4)

**CGLS ARCHITECTS**  
ARCHITECTS  
CHAPMAN GRIFFIN LANIER  
1018

**BREEDLOVE LAND PLANNING**  
LAND PLANNING  
15 PROJECTS

**GEORGIA SURVEYORS**  
REGISTERED PROFESSIONAL ENGINEER  
WATSON  
11/09/2016

DATE	NO.	DESCRIPTION
03/28/16	1	CODE PRELIMINARY
06/16/16	2	REVISION: DESIGN DEVELOPMENT
08/11/16	3	REVISION: DESIGN DEVELOPMENT
10/15/16	4	REVISION: DESIGN DEVELOPMENT
11/09/16	5	REVISION: DESIGN DEVELOPMENT

DATE: 09.17.18

PROJECT NO.: 16015.02

ISSUED BY: EKW

CHECKED BY: HOB

**CHAPMAN GRIFFIN LANIER SUSENBACH ARCHITECTS**  
400 Galleria Pkwy., Suite 100 • Atlanta, Ga 30339 • Phone: 404.733.5493

**DOE FACILITY CODE 680-3086**  
**RIVERWOOD HIGH SCHOOL - PHASE 3-8**  
**AUDITORIUM/GYMNASIUM ADDITION**  
5900 RAIDER DRIVE NW SANDY SPRINGS, GA 30328  
FULTON COUNTY SCHOOLS RFP NO. 411-19

**BOUNDARY & TOPOGRAPHIC SURVEY (2015)**

**C-010**