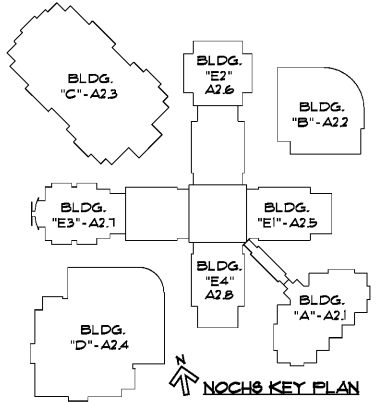
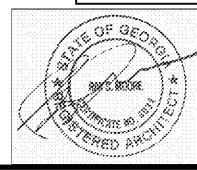


DRAWING ISSUE RECORD		
DATE	REVISION	NO.
10/06/06	BID SET	

HVAC REPLACEMENT FOR
 NORTH OCONEE HIGH SCHOOL
 EC: 108-0107
 FOR THE
 OCONEE COUNTY BOARD OF EDUCATION
 WATKINSVILLE, GEORGIA
 DATE: SEPT 14, 2018
 SHEET NO. SH-1008-18
 SHEET OF 11

cunningham forehand matthews moore
 cunningham, forehand, matthews & moore, architects, inc. - 2011 manchester street, n.e. - atlanta, georgia 30324 - phone (404) 873-2152

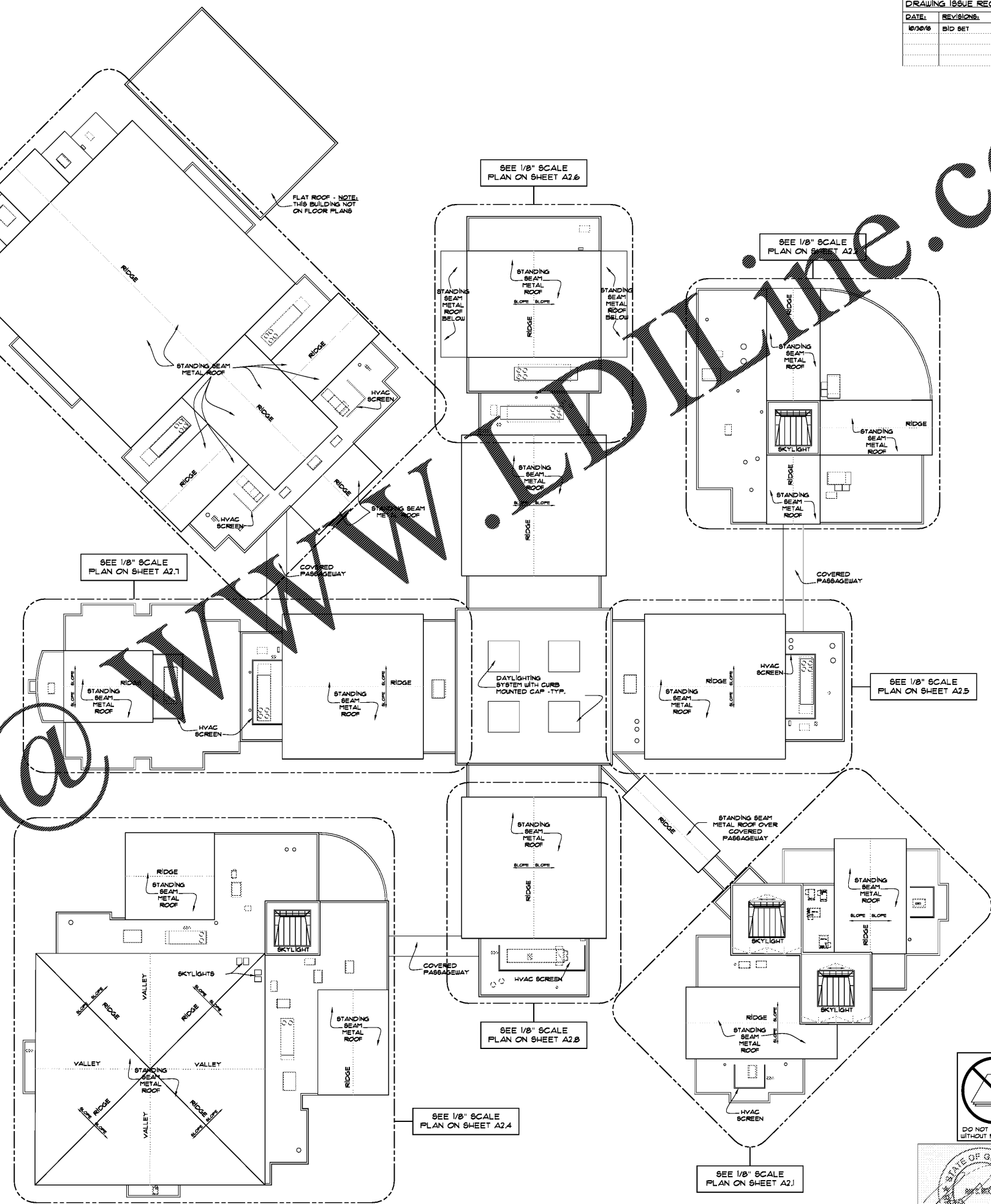


GENERAL NOTES:
 (THESE NOTES APPLY TO ALL DRAWINGS)

GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE, PARTICULARLY DIMENSIONS AND CONDITIONS AFFECTING SHOP DRAWING SUBMITTALS.

- QUANTITIES AND LOCATIONS OF ROOF TOP MECHANICAL EQUIPMENT ARE APPROXIMATE. GEN. CONTRACTOR MUST COORDINATE EXACT ITEMS AS WELL AS SIZE AND LOCATIONS OF OPENINGS FOR STRUCTURAL SUPPORT AND ROOF PENETRATIONS. VERIFY CLEARANCES REQUIRED FOR ALL EQUIPMENT OPENINGS.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AROUND ALL ROOF TOP EQUIPMENT AS NECESSARY. PROVIDE CRICKETS AS REQUIRED.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE TO ALL ROOF DRAINS AND GUTTERS AS SHOWN.
- PITCH PANS ARE NOT ACCEPTABLE FOR ANY PENETRATION OF THE ROOF MEMBRANE. CONTRACTOR SHALL PROVIDE ROOF PENETRATION CURBS FOR ANY ITEMS PENETRATING ROOF.
- ALL GAS OR ELECTRIC PIPES OR CONDUIT PENETRATING THE ROOF MEMBRANES MUST CONFORM TO DETAIL 3/A92
- DO NOT ALLOW PLUMBING VENT STACKS TO BE WITHIN 10' HORIZONTALLY OF ANY ROOF TOP UNIT FRESH AIR INTAKE.
- ALL ROOF PENETRATIONS (CURBS, VENTS, PIPES, ECT.) SHALL EXTEND A MINIMUM OF 8" ABOVE FINISHED ROOF TO TOP OF CURB OR VENT. CONTRACTOR COORDINATE WITH INSULATION HEIGHTS.
- DO NOT ENCROUGH ON CRICKET VALLEYS WITH PLUMBING VENTS, MECHANICAL OR ELECTRICAL PENETRATIONS.
- DETAILS ARE KEYED ON ROOF PLAN AS AN ASSISTANCE TO THE CONTRACTOR IN UNDERSTANDING THE ROOFING WORK TO BE PERFORMED. DETAILS ARE KEYED TO SPECIFIC AREAS FOR CONVENIENCE, BUT MAY APPLY TO THE SAME GENERAL CONDITION WHEREVER IT MAY BE FOUND.
- COORDINATE FINAL LOCATIONS OF ALL OVERFLOW DRAINS WITH ARCHITECT. DO NOT SCALE LOCATIONS FROM ROOF PLANS OR FROM PLUMBING PLANS. SEE 3/A92 & 1/A92 FOR OVERFLOW DETAILS.
- ALL EXISTING OR NEW GAS OR ELECTRIC PIPES OR CONDUIT PENETRATING THE ROOF MEMBRANES MUST PASS THRU A PIPE CURB WITH ABS CAP AND NEOPRENE BOOT CONFORMING TO DETAIL 3/A92. CONTRACTOR COORDINATE WITH GC/RS FOR INTERFERENCE IN GAS/ELECTRICAL SERVICE TO EXISTING ROOFTOP EQUIPMENT TO REMAIN. CONTRACTOR SHALL COORDINATE WITH OWNER TO IDENTIFY ACTIVE VERSUS ABANDONED WIRING, WATER PIPING AND GAS PIPING ON OR THRU THE ROOF.
- ALL ROOF PENETRATIONS (PLUMBING VENT STACKS, EQUIPMENT CURBS AND PIPE CURBS BOTH EXISTING AND NEW) SHALL EXTEND A MINIMUM OF 8" ABOVE FINISHED ROOF TO TOP OF CURB OR VENT. CONTRACTOR COORDINATE WITH INSULATION HEIGHTS. ALL EXISTING CURBS WITH AN ABOVE-ROOF EXISTING HEIGHT OF LESS THAN 6" SHALL BE REPLACED WITH A NEW CURB OF ADEQUATE HEIGHT TO PROVIDE MINIMUM 8" CLEARANCE ABOVE NEW ROOF INSULATION THICKNESS.
- EXISTING ROOFTOP EQUIPMENT NOT SUPPORTED BY A PREMANUFACTURED ROOF CURB SHALL HAVE A NEW CURB INSTALLED. COORDINATE NEW CURB HEIGHT TO MAINTAIN MINIMUM 8" CLEARANCE TO TOP OF CURB. REMOVE NEW ROOF INSULATION.
- AT ALL EXISTING ROOF TOP MECHANICAL EQUIPMENT TO REMAIN ON EXISTING CURBS TO REMAIN, CONTRACTOR SHALL DISCONNECT ALL ELECTRICAL, MECHANICAL AND GAS PIPING THAT IS SERVING THE EQUIPMENT. UNIT SHALL BE RAISED UP FROM ITS SUPPORT CURB TO ALLOW NEW BASE FLASHING TO BE INSTALLED UP TO THE TOP OF THE CURB. AT SUPPORT CURBS SUCH AS THOSE SUPPORTING RANGE HOOD AIR INTAKE DUCTS AND SPLIT SYSTEM CONDENSING UNITS, INSTALL NEW COPING FLASHING AT TOP OF CURBS OVER NEW BASE FLASHING PRIOR TO REINSTALLATION OF EQUIPMENT.
- EXISTING AND NEW ROOFTOP EQUIPMENT SHALL BE PROPERLY SECURED TO ROOF CURBS THRU ALL SIDES, AS DETAILED A92. DO NOT SCREW THRU HORIZONTAL SURFACES. PROVIDE ADDITIONAL METAL STRIPS WHERE EQUIPMENT RESTS ON COPED FLASHING BASES.
- EXISTING AND NEW GAS PIPING ROUTED ABOVE ROOF SURFACE SHALL BE SUPPORTED BY PRE-MANUFACTURED PIPE SUPPORTS. SECURE PIPING AT ALL SUPPORTS. PROVIDE A SLIP SHEET BELOW SUPPORT MEMBER IF NOT INTEGRAL TO THE PIPE SUPPORT SYSTEM.
- WHERE GYP. BD. CEILINGS OCCUR CONTRACTOR SHALL COORDINATE EXACT LOCATION OF ACCESS DOORS WITH ARCHITECT. ALL NEW GYP. BD. CEILINGS SHALL RECEIVE AN ACCESS DOOR. ALL PLUMBING VALVES ABOVE GYP. BOARD CEILINGS SHALL RECEIVE AN ACCESS DOOR.
- PLUMBING, MECHANICAL AND ELECTRICAL WORK TO BE SUPPORTED FROM ABOVE SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE. DO NOT WELD, BRACE, BRIDGES, ETC. FROM JOIST BRIDGING, METAL DECK OR METAL STUDS. CONTRACTOR SHALL PROVIDE STEEL ANGLE OR CHANNEL CROSS MEMBERS OF APPROPRIATE SIZE AS NECESSARY FOR EQUIPMENT HANGERS.
- BEFORE ANY WORK BEGINS, THE EXISTING BUILDING CONTRACTOR WILL CONDUCT A WALK THRU OF THE ENTIRE BUILDING WITH THE OWNER AND ARCHITECT TO DETERMINE THE CONDITION OF THE EXISTING SPACES REQUIRING WORK UNDER THIS CONTRACT. CONDITION OF EACH SPACE PRIOR TO COMMENCEMENT OF WORK WILL BE NOTED.
- WHERE AREAS ARE RENOVATED, CONTRACTOR SHALL REMOVE ALL FURNISHINGS & EQUIPMENT NECESSARY TO BE MOVED TO CARRY THE WORK. CONTRACTOR SHALL PLACE OR STORE FURNISHINGS & EQUIPMENT ON SITE, IN SPACES AS DIRECTED BY THE ARCHITECT. REMOVE ALL FURNISHINGS OR EQUIPMENT REMOVED BY THE CONTRACTOR SHALL BE REINSTALLED IN RENOVATED SPACES. THIS INCLUDES DISCONNECTION AND RECONNECTION OF ITEMS REQUIRING MECHANICAL, ELECTRICAL OR PLUMBING SERVICES.
- WHERE WORK OCCURS ABOVE EXISTING CEILINGS TO REMAIN, PROTECT EXISTING CEILING GRID AND TILES, AND ANY OTHER ITEMS IN VICINITY OF THE WORK PERFORMED. CONTRACTOR SHALL REPLACE ITEMS DAMAGED IN THE PROCESS. SEE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR FURTHER INFORMATION. LEAVE SPACE CLEAN AND ORDERLY.
- REMOVE ALL EXISTING ELECTRICAL SUPPLY NO LONGER REQUIRED. REMOVE ABANDONED WIRING AND CONDUIT BACK TO NEAREST JUNCTION BOX & CAP, UNLESS DIRECTED OTHERWISE BY ELECTRICAL DRAWINGS. SEE PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DETAIL INFORMATION.
- ANY CEILING TILE REPLACED IN EXISTING CORRIDORS E71, E29, E30, E31 & E39 SHALL BE A UL LABEL TILE TO MATCH EXISTING TILE. CEILING TILES / PATCHES NOT MATCHING EXISTING ADJACENT CEILINGS WILL REQUIRE THE TILE IN THE ENTIRE ROOM TO BE REPLACED. TILE NOT MATCHING BECAUSE IT IS A DIFFERENT RUN OF TILE FROM THE SAME MANUFACTURER SHALL BE REPLACED.

FIRE RATING NOTES:
 1. BUILDING IS FULLY SPRINKLED.



1 NORTH OCONEE COUNTY HIGH SCHOOL OVERALL ROOF PLAN
 A9J 7-29-07

Original