



EXTERIOR/ INTERIOR RENOVATION
1711 GALLATIN RD, NORTH
MADISON, TN.

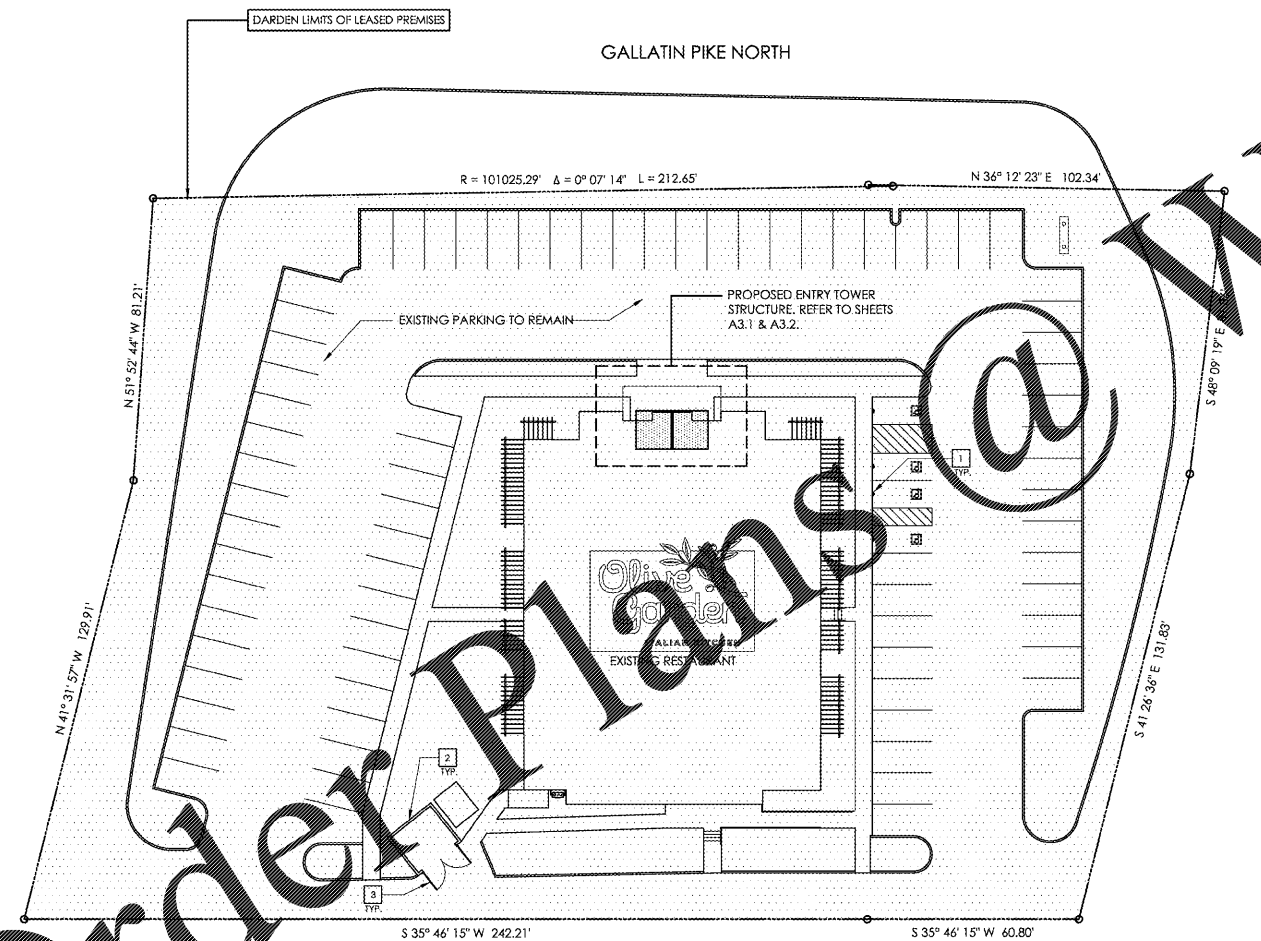
PROJECT CONTACTS	
OWNER:	DARDEN RESTAURANTS, INC. 1000 DARDEN CENTER DRIVE ORLANDO, FL 32837 (407) 245-4000
ARCHITECT:	HMD GROUP ARCHITECTS 10556 N.W. 26 TH STREET, SUITE D-101 DOVAL, FL 33172 OFFICE: (305) 594-2975 FAX: (305) 594-2976
STRUCTURAL ENGINEER:	PYRAMID CONSULTING STRUCTURAL / CIVIL ENGINEERS, INC. 422 SOUTH BROADWAY LEWISTON, KY 40308 PH: (609)253-1678
ELECTRICAL ENGINEER:	DEVITA & ASSOCIATES, INC. ELECTRICAL ENGINEER 1180 EAST WASHINGTON STREET GREENVILLE, SC 29600-1196 (843) 232-4442 FAX: (843) 242-4678 CONTACT: DONALD B. WHITE

SITE PLAN NOTES

- EXISTING POSTS WITH ACCESSIBILITY TAKE OUT SIGNS TO REMAIN. THE RESTAURANT SHALL HAVE A MIN. OF A TAKE OUT SIGN. PROVIDE ADDITIONAL SIGNS IF NECESSARY. COORDINATE WITH OWNER.
- EXISTING DUMPSTER WALLS TO BE PAINTED (P-13). REFER TO PAINT SCHEDULE AT SHEET A.1 & A.2.
- EXISTING DUMPSTER GATE/SILOARS TO BE PAINTED (P-13). REFER TO PAINT SCHEDULE AT SHEET A.1 & A.2.

LANDSCAPE NOTES

- CONTRACTOR SHALL REPLACE ALL DAMAGED LANDSCAPE AREAS. THESE AREAS SHALL BE BROUGHT TO ITS ORIGINAL CONDITIONS. COORDINATE WORK WITH CONSTRUCTION PROJECT MANAGER.
- VERIFY THAT LANDSCAPE LIGHTING IS OPERATIONAL AND REDIRECT AS NECESSARY. COORDINATE WITH CONSTRUCTION PROJECT MANAGER.



GENERAL NOTES	
1. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS WITH DOCUMENTS GIVEN AT PRE-BID MEETING AND ACCEPT PREMISES AS FOUND. OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE EXISTING SITE OR EXISTING STRUCTURES AT THE TIME OF BIDDING OR THEREAFTER. THE ONLY EXCEPTION IS CONDITION OF UNDER-SLAB PLUMBING, FOR WHICH OWNER WILL ASSUME RESPONSIBILITY.	18. REMODEL WORK SHALL NOT OBSTRUCT OR CAUSE TO BE IMPROVED TO EXISTING FIRE PROTECTION SYSTEMS. MODIFICATION TO FIRE PROTECTION SYSTEMS SHALL BE PERFORMED BY A FIRE PROTECTION CONTRACTOR, WHO SHALL OBTAIN A PERMIT FROM FIRE LOSS MANAGEMENT PRIOR TO WORK.
2. DIMENSIONS TAKE PRECEDENCE OVER DRAWINGS. DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATION. THE OWNER SHALL BE NOTIFIED IF ANY DISCREPANCY OCCURS PRIOR TO COMMENCING WORK.	19. BIDDING AND CONSTRUCTION IS ADMINISTERED BY THE REGIONAL SUPERVISOR OF DARDEN RESTAURANTS, INC. THE ARCHITECT SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR APPROVAL OF DARDEN REMODEL DEPARTMENT.
3. DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED. THE CONTRACTOR IS TO CLARIFY WITH THE ARCHITECT AND OWNER ANY SUCH DISCREPANCIES PRIOR TO COMMENCING WORK.	20. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MINOR ITEMS WHICH ARE OCCASIONAL AND REASONABLE NECESSARY TO COMPLETE ANY INSTALLATION.
4. THE CONTRACTOR SHALL REPORT TO THE DARDEN PROJECT MANAGER ANY ERRORS, INCONSISTENCIES, OR OMISSIONS HE MAY DISCOVER. THE CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY ERRORS AFTER THE START OF CONSTRUCTION WHICH HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE OWNER. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY THE ARCHITECT AND OWNER.	21. DECORATIVE MATERIALS, DRAPES, HANGINGS, ETC., SHALL BE NON-FLAMMABLE OR FLAME-PROOF PER STATE FIRE MARSHALL REQUIREMENTS.
5. ALL PLAN DIMENSIONS ARE FROM FACE OF STUDS UNLESS OTHERWISE INDICATED.	22. MINIMUM FLAME SPREAD CLASSIFICATION ON INTERIOR FINISH SHALL CONFORM TO THE BUILDING CODE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
6. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS. ALL CONTRACTORS MUST COMPLY WITH THE CONTRACTOR REGISTRATION REQUIREMENTS OF ALL GOVERNING AUTHORITIES.	23. ACCEPT PREMISES AS FOUND. OWNER ASSUMES NO RESPONSIBILITY FOR THE CONDITION OF THE EXISTING BUILDING OR EXISTING STRUCTURES AT THE TIME OF BIDDING OR THEREAFTER.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING MECHANICAL AND ELECTRICAL SERVICES AND DISTRIBUTE SYSTEMS WHETHER SHOWN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONNECTION WITH THE PERFORMANCE OF THE WORK.	24. INTERIOR WOOD TRIM SHALL BE STAIN GRADE POPLAR UNLESS OTHERWISE NOTED. (SEE INDICATED ON DWG.)
8. THE CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, UNCRATING, AND INSTALLATION OF ALL OWNER FURNISHED ITEMS, INCLUDING DISPOSAL OF CRATING, PACKING, ETC.	25. THE CONTRACTOR SHALL PROVIDE THE RESTAURANT GENERAL MANAGER ONE SET OF AS BUILT DRAWINGS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPLACEMENT OR REPAIR OF ANY FAULTY, WIPED OR WORN MATERIALS OR WORKMANSHIP WHICH SHALL APPEAR WITHIN ONE (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT.	26. ALL WORK DESCRIBED HEREIN IS CONTRACTOR PERFORMED UNLESS OTHERWISE NOTED.
10. SILICONE CAULK SHALL BE USED AT THE FOLLOWING LOCATIONS: 1. ROOM/BOOTH TABLE SPLASH AND WALL CONNECTION 2. METAL DOOR CLEAR 3. WINDOW FRAMES, SILLS AND JAMBS-CLEAR 4. CONDENS AND PIPE PENETRATIONS AT WALLS, FLOORS, AND CEILING-CLEAR 5. JUNCTION OF MILLWORK (CABINETS, SHELVES, BOOTH)-CLEAR 6. STAINLESS STEEL TO WALLS CLEAR 7. ALL UNLIKE SURFACES CLEAR 8. BETWEEN THE BACKER BOARD AND CONC. SLAB-CLEAR 9. STAINLESS STEEL TO STAINLESS STEEL SILVER	27. PAINT UNDERSIDE OF SOFFITS AND JAMB OF ARCHES TO MATCH WALL SURFACE THAT FOLLOWS THE NATURAL FLOW OF TRAFFIC INTO THE ROOM.
11. CONTRACTOR SHALL CLEAN WORK AREAS ON A DAILY BASIS, SO AS NOT TO ACCUMULATE DEBRIS.	28. THE GENERAL BUILDING PERMITS SHALL BE PAID FOR BY THE CONTRACTOR. ALL OTHER PERMITS SHALL BE SECURED & PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE. ALL REQUIRED CITY, COUNTY AND/OR STATE LICENSES SHALL BE ACCURATE AND PAID FOR BY THE INDIVIDUAL GENERAL CONTRACTOR OR SUBCONTRACTOR.
12. ALL DEBRIS SHALL BE REMOVED FROM PREMISES AND AREA OF CONSTRUCTION SHALL BE LEFT IN A "BROOM CLEAN" CONDITION AT ALL TIMES. UNDER TOTAL CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CLEAN AND REMOVE CONSTRUCTION DUST FROM EACH WORK AREA. THE CONTRACTOR IS TO CLEAN AREAS AND JOB SITE THOROUGHLY AS TO REMOVE ALL CONSTRUCTION DUST, RESIDUE, AND FAULTS.	29. GYPSUM WALL BOARD AND SUPERSTRUCTURE SHALL CONFORM TO THE BUILDING CODE AND LOCAL ORDINANCES REGARDING PERFORMANCE.
13. CONTRACTOR SHALL NOT OBSTRUCT STAIRS, SIDEWALKS, ALLEYS OR CURB CUTS OF ANY TYPE. CONTRACTOR SHALL OBTAIN ALL NECESSARY PROPER PERMITS. WORK SHALL BE DONE IN ACCORDANCE WITH THE QUALITY WORKMANSHIP PROGRAM. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EXISTING UTILITIES. CONTRACTOR SHALL COMPLY WITH ALL CITY, COUNTY AND STATE ORDINANCES AND APPLICABLE NATIONAL, STATE AND LOCAL CODES AND STANDARDS. HANDBOOK FOR THE INSTALLATION ARCHITECTURAL WOODWORK INSTRUCTIONS, ETC.	30. CONTRACTOR SHALL COMPLY WITH ALL SUBCONTRACTOR ARE UNDER DIRECT CONTROL OF THE DARDEN RESTAURANTS, INC. THESE CONTRACTORS ARE BEING ADDED TO THE AS BUILT RECORD. ALL REVIEWS, ADDENDUMS AND CHANGE ORDERS SHALL BE AT ALL TIMES, THESE ARE TO BE IN THE CARE OF SUPERINTENDENT.
14. THE OWNER MAY PERFORM ADDITIONAL WORK THAT IS NOT PART OF THIS CONTRACT WITH HIS OWN PERSONNEL. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND OTHER CONTRACTORS AND COORDINATE HIS WORK WITH THE OWNER SO THAT WORK BY OTHERS CAN BE INCORPORATED IN A TIMELY MANNER.	31. APPROVED PLANS SHALL BE KEPT IN A BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL BE KEPT IN A BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL BE KEPT IN A BOX AND SHALL NOT BE USED BY WORKMEN. ALL CONSTRUCTION SETS SHALL BE KEPT IN A BOX AND SHALL NOT BE USED BY WORKMEN.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR JOB SAFETY, AND SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE SAFETY OF WORKERS AND OCCUPANTS AT ALL TIMES.	32. THE CONTRACTOR AND/OR OWNER SHALL REVIEW SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT FOR THE PROJECT. THE OWNER AND/OR ARCHITECT'S APPROVAL SHALL NOT NECESSARILY INDICATE APPROVAL OF THE ASSEMBLY IN WHICH THE ITEM FUNCTIONS. GENERAL CONTRACTOR SHALL REVIEW THE SHOP DRAWINGS PRIOR TO SUBMISSION AND ASSURE THAT INFORMATION PROVIDED IS IN CONFORMANCE WITH THE CONSTRUCTION DRAWINGS.
16. ALL ELECTRICAL, MECHANICAL, AND PLUMBING WORK SHALL CONFORM TO STATE AND LOCAL REQUIREMENTS, IF APPLICABLE.	33. GLASS AND GLAZING SHALL COMPLY WITH CHAPTER 54 OF THE U.S. GENERAL PRODUCT SAFETY COMMISSION SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (49 CFR 1610.1201).

RESPONSIBILITY CHART FOR SUPPLY AND INSTALLATION OF BUILDING RELATED ITEMS

ITEM	SUPPLIED BY OWNER	SUPPLIED BY CONTRACTOR	INSTALLER	FINISHER	OTHER	LEAD USER	REMARKS
DIVISION 6 - CARPENTRY							
4" x 4" GROOVE STAIN GRADE POPLAR PANELS & TRIMMING PRE FINISHED (MATERIAL STAIN)	X		X				
MILLWORK - WINE CABINET - PRE FINISHED	X		X				
MILLWORK - WINESS STAIN - PRE FINISHED	X		X				
MILLWORK - P.O.S. CABINET - PRE FINISHED	X		X				
MILLWORK - BACK BAR CABINET AND TRIM	X		X				
MILLWORK - CAFE BOOTH WALLS AND TRIM	X		X				
RUNNING TRIM	X		X				
ACCESSIONAL TRIM	X	X	X				USE OWNER'S VENDOR
DIVISION 9 - FINISHES							
CABINET	X	X	X				G.C. TO COORDINATE INSTALLATION
STEP MOLDING	X	X	X				G.C. TO COORDINATE INSTALLATION
FLOOR TILE - BAR STEP		X	X				
BAR TOP		X	X				
DIVISION 10 - SPECIALTIES							
RESTROOM SIGN	X		X				
WINDOW TREATMENT (BLINDS)	X	X	X				
WOOD VALANCE	X	X	X				
DIVISION 11 - EQUIPMENT							
POS INSTALLATION - TERMINALS SET UP	X	X	X				G.C. TO COORDINATE INSTALLATION
DECOR	X		X				
DIVISION 12 - FURNISHINGS							
FURNITURE	X		X				
EXTERIOR DECOR PACKAGE - ARTWORK	X		X				
BOOTH/CHAIR, TABLETOPS, BARS AND BRACKETS	X		X				
INTERIOR PLANT PACKAGE - LIVE PRESERVED & SILK	X		X				
WAITING BENCHES	X		X				
DIVISION 16 - ELECTRICAL							
INTERIOR & DECORATIVE LIGHT FIXTURES	X	X	X				USE OWNER'S VENDOR
OTHER LIGHT FIXTURES (SEE SHEET A-1.1)	X	X	X				

SCOPE OF WORK	
EXTERIOR AND INTERIOR RENOVATION / REPAIRS/REPLACEMENT OF EXISTING DINING, LOBBY & BAR AREAS. NEW WORK WILL INCLUDE NEW WALL FINISHES, CIVIL AS REQUIRED, CARPETING, CEILING MATERIALS, FURNITURE, DECOR, WINDOW COVERINGS, CABINETRY AND LIGHTING REPLACEMENTS AS REQUIRED.	
WORK FOR THIS CONTRACT SHALL BE PERFORMED DURING NON-BUSINESS HOURS, AND AS REQUIRED TO ALLOW CONTINUING OPERATION OF THE RESTAURANT. SPECIAL ATTENTION SHOULD BE TAKEN TO NOT HAVE A DUMPSTER AND MINIMAL TRUCKS ON SITE.	

PROJECT DATA	
BUILDING CODE:	2012 INTERNATIONAL BUILDING CODE
ACCESSIBILITY CODE:	2009 ICC/ANSI A117.1
ELECTRICAL CODE:	2011 INTERNATIONAL ELECTRICAL CODE
PLUMBING CODE:	2012 INTERNATIONAL PLUMBING CODE
FIRE CODE:	2012 INTERNATIONAL FIRE CODE
OCCUPANCY CLASSIFICATION:	A2 (ASSEMBLY)
TYPE OF CONSTRUCTION:	V5
TOTAL BUILDING SQUARE FOOTAGE:	9,162 SQ. FT.
SEATING:	EXISTING: 252 PROPOSED: 0
FIRE SPRINKLER:	EXISTING: YES PROPOSED: YES (TO BE PROVIDED)
FIRE ALARM:	EXISTING: YES PROPOSED: YES (TO BE PROVIDED)
FIRE ALARM PLANS TO BE PROVIDED AT A LATER TIME BY CITY, COUNTY AND/OR STATE.	
TOILET SEATING:	MALE: 3 FEMALE: 0
WATER CLOSET:	EXIST: 0 ALT: 3
URINAL:	EXIST: 3 ALT: 0
LAVATORY:	EXIST: 2 ALT: 2
STAIRWAYS SPACES:	75
ACCESSIBLE SPACES:	4
TOTAL SPACES:	79

INDEX OF DRAWINGS

REVISIONS	
NO. DATE	DESCRIPTION
1 08-22-2018	ISSUE

ARCHITECTURAL	
A1.1	TITLE SHEET / PROJECT DATA / SITE PLAN
A1.2	FLOOR PLAN / NOTES
A1.3	FURNITURE PLAN / NOTES
A2.1	REFLECTED CEILING PLAN / NOTES
A3.1	EXTERIOR TOWER FLOOR PLAN
A3.2	EXTERIOR CEILING / ROOF PLAN
A6.1	EXTERIOR ELEVATIONS
A6.2	EXTERIOR ELEVATIONS
A6.3	TOWER SECTION / DETAILS
A6.4	TOWER SECTION / DETAILS
A6.5	TOWER SECTION / DETAILS
A6.6	ROOF SPECIFICATIONS
A7.1	INTERIOR ELEVATIONS
A7.2	INTERIOR ELEVATIONS
A8.1	DETAILS / FINISH SCHEDULE & SPECIFICATIONS
A8.2	SECTIONS / DETAILS
A8.3	SECTIONS / DETAILS

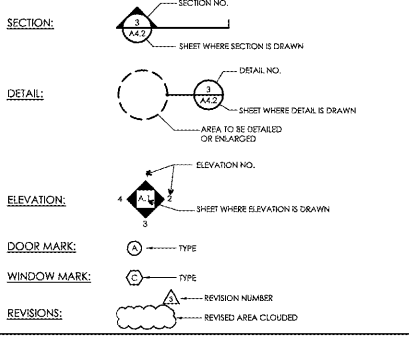
STRUCTURAL

S1.1	STRUCTURAL NOTES AND FOUNDATION DETAILS
S2.1	FOUNDATION PLAN, ROOF FRAMING AND TOWER FRAMING PLAN
S3.1	FRAMING SECTIONS AND DETAILS

ELECTRICAL

E1.1	ELECTRICAL LIGHTING PLAN / NOTES / SCHEDULE
E1.2	ELECTRICAL PANEL SCHEDULES, RISERS & DETAILS

SYMBOLS



INTERIOR FINISH FIRE CHARACTERISTICS

FLAME SPREAD RATINGS	CLASS	FLAME SPREAD	FUEL CONTRIBUTION	SMOKE DENSITY
ACCESSIONAL TILE	A OR 1	25		50
PLASTIC LAMINATES		165		135
LATEX FLAT PAINT	A	5		0

- ALL WALL FINISHES IN VESTIBULE & LOBBY AREAS SHALL BE CLASS "A" RATING. (USE CLASS "B" IF BUILDING IS SPINNLED)
 - ALL WALL FINISHES IN CORRIDORS OR HALLWAYS SHALL BE CLASS "B" RATING. (USE CLASS "C" IF BUILDING IS SPINNLED)
 - TO ACCOMPLISH FIRE RATED CLASSIFICATIONS USE "FLAME CONTROL COATINGS, INC" (714) 382-1399. FOR CLASS "A" PAINT USE PRODUCTS "FLAME CONTROL NO. 10-D & NO. 30-30 OVERCOAT" FOR VAMBER FINISHES USE "FLAME CONTROL NO. 144 & NO. 147 OVERCOAT" FOR CLASS "B" - FLAME CONTROL NO. 129 & NO. 130 OVERCOAT.
- CONTRACTOR SHALL FOLLOW MANUFACTURER INSTRUCTIONS FOR ALL WORK TO BE PERFORMED.

Issue Date: 04-26-2018

REVISION INFORMATION

1	08-02-2018	
2		
3		
4		
5		
6		
7		
8		

FIRE DEPT. COMMENTS

Restaurant #: 1173

P1B (HIGH)

1711 GALLATIN RD NORTH

MADISON, TN

Drawing

TITLE SHEET

T1.1