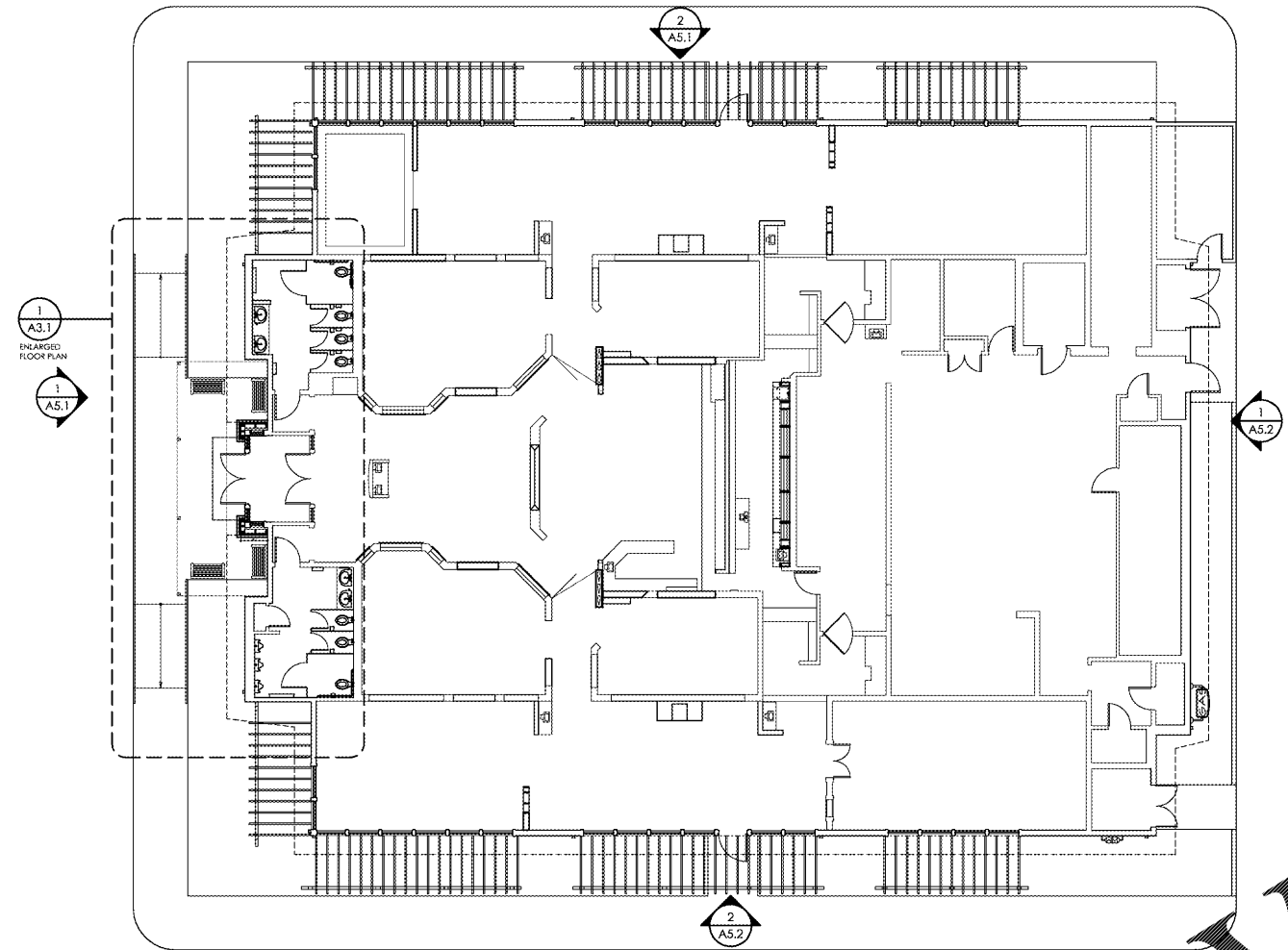


Order Plans @



FLOOR PLAN  
REFER TO FLOOR PLAN KEY NOTES

WALL TYPES	
	NEW SIMULATED STONE VENEER OF MORTAR BED AND AIR-SPUN FIBER INSULATION RESISTANT TO FIRE & 2x4 WOOD FRAMING SHEATHING WITH 2x6 WOOD FRAMING
	EXISTING PARAPET WALL

**GENERAL FLOOR PLAN NOTES**

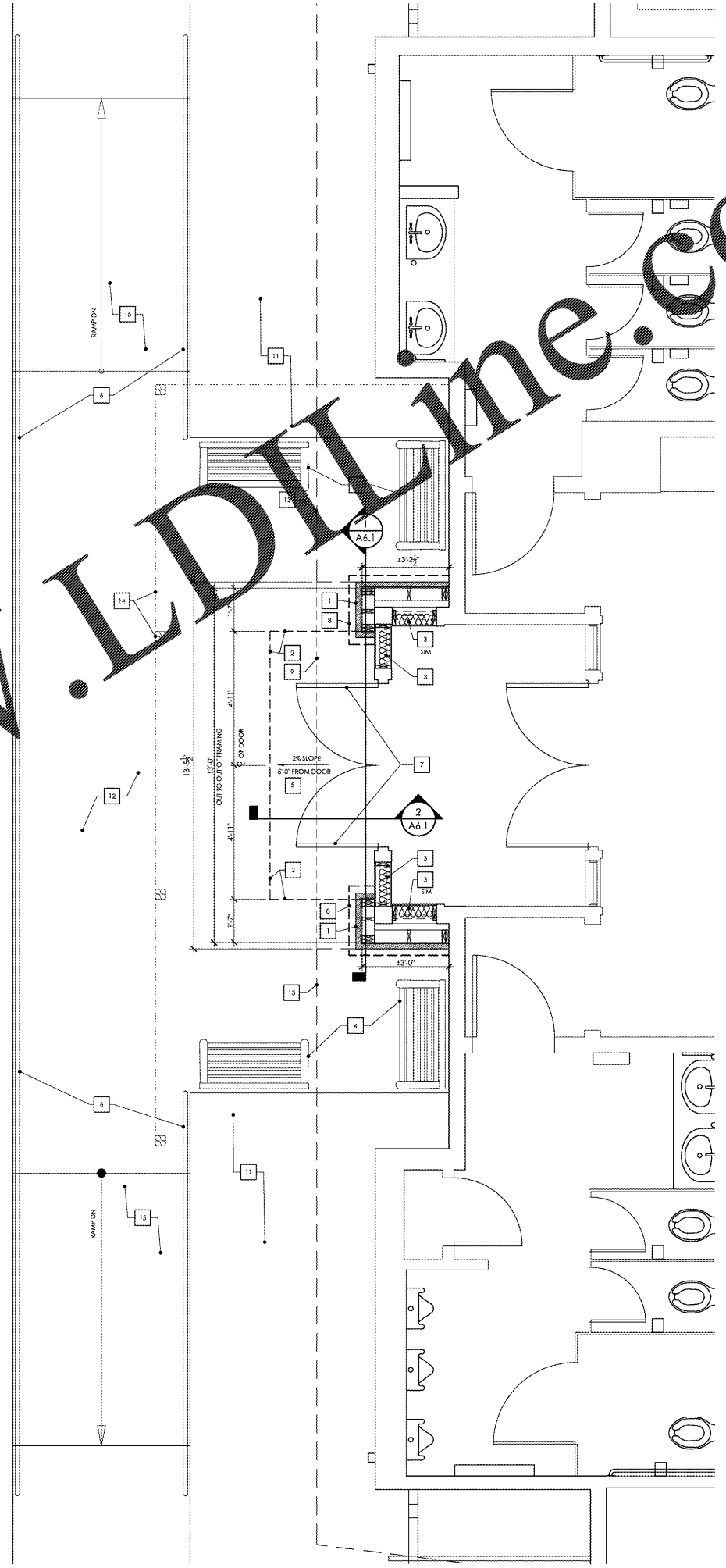
1. MATERIALS OR FINISHES THAT ARE DAMAGED OR VOID DUE TO DEMOLITION OPERATIONS SHALL BE PATCHED BACK TO MATCH EXISTING ADJACENT SURFACES TO ACHIEVE A "LIKE NEW" APPEARANCE. "PATCHWORK" APPEARANCE IN NEW WORK IS UNACCEPTABLE AND WILL BE REJECTED.

2. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.

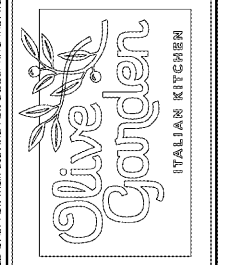
3. REVIEW AND COORDINATE WITH ARCHITECT'S DESIGN PROJECT MANAGER ANY DISRUPTED LANDSCAPE AREAS AS A RESULT OF NEW TOWER SCOPE OF WORK.

- FLOOR PLAN KEY NOTES**
- 1 NEW WALL FOR ENTRY TOWER WITH SIMULATED STONE VENEER. REFER TO WALL SECTIONS AND STRUCTURAL PLANS.
  - 2 OUTLINE OF NEW CANOPY, REFER TO B1A6.2.
  - 3 EXISTING WINDOW AND TRIMMING TO BE REMOVED AS REQUIRED. ENCLOSE OPENING WITH 2x WOOD STUDS (MIN. 3x WITH 5/8" EXIST. GRADE PLYWOOD, METAL LATH AND FELT) AND MOISTURE RESISTANT BARRIER WITH STUCCO FINISH TO MATCH EXISTING AT OUTSIDE FACE. PROVIDE R-19 BATT INSULATION AND 1/2" M.R. GYP. BOARD WITH PLASTER FINISH TO MATCH EXISTING AT INTERIOR FACE.
  - 4 EXISTING BENCH TO REMAIN.
  - 5 CONTRACTOR SHALL VERIFY SLOPE OF EXISTING CONCRETE SLAB. SLOPE SHALL BE 2% FROM THE DOOR TO 5'-0" AWAY. COORDINATE WITH OWNER.
  - 6 EXISTING RAILING TO BE PAINTED P-15.
  - 7 EXIST. ENTRY DOORS TO REMAIN.
  - 8 NEW CONC. FOOTING TO LIMITS SHOWN. REFER TO STRUCTURAL DRAWINGS.
  - 9 PORTION OF ROOF OVERHANG TO BE REMOVED AS REQUIRED. REFER TO SHEET A3.2 FOR ADDITIONAL INFORMATION.
  - 10 NOT USED.
  - 11 EXISTING LANDSCAPE AREA TO REMAIN.
  - 12 EXISTING SIDEWALK TO REMAIN.
  - 13 OUTLINE OF EXISTING ROOF OVERHANG.
  - 14 EXISTING AWNING STRUCTURE TO BE REMOVED AS REQUIRED. REPAIR DAMAGED AREAS. MATCH EXISTING FINISHES.
  - 15 EXISTING RAMP TO REMAIN.

1 ENLARGED FLOOR PLAN



Johnson Group PA  
Architects  
ARCHITECTURAL PROJECT #:  
17-0357



Issue Date: 05-03-2018

REVISION INFORMATION	
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Restaurant #: 1289

P1B  
(MEDIUM)  
1903 N ROAN STREET  
JOHNSON CITY, TN

Drawing  
EXTERIOR  
TOWER  
PLAN

A3.1

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