

# LifeStance HEALTH

## TENANT IMPROVEMENT

649 CHARITY COURT  
FRANKFORT, KY 40601

### GENERAL NOTES

- GENERAL CONTRACTOR TO VERIFY LEASE DIMENSIONS, EXISTING DIMENSIONS, EXISTING STRUCTURAL ELEMENTS, AND CEILING HEIGHT CLEARANCES, ETC. AND REPORT TO ARCHITECT ANY INCONSISTENCY PRIOR TO START OF CONSTRUCTION.
- GENERAL CONTRACTOR TO COORDINATE ANY WORK IN TENANT SPACE BELOW, ABOVE AND OR ADJACENT WITH THAT TENANT AND LANDLORD. WORK TO TAKE PLACE OFF HOURS AND INCLUDE SECURITY AS REQUIRED BY TENANT AND MALL.
- DIMENSIONS NOTED (WIDTH & HEIGHT) ARE TO BE MAINTAINED EXCEPT WHEN NOTED BY A +/- DIMENSION.
- DO NOT SCALE DRAWINGS. REQUEST CLARIFICATION FROM THE ARCHITECT TO RESOLVE DISCREPANCIES OR TO SUPPLY ADDITIONAL INFORMATION.
- GENERAL CONTRACTOR TO CLARIFY ANY INCONSISTENCIES WITHIN THE CONSTRUCTION DOCUMENTS WITH THE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY THAT THE MECHANICAL AND ELECTRICAL CONTRACTOR IS SUPPLYING AND INSTALLING THE SPECIFIED ITEMS. GENERAL CONTRACTOR IS TO CLARIFY ANY INCONSISTENCY BETWEEN ARCHITECTURAL PLAN AND MECHANICAL AND ELECTRICAL PLANS PRIOR TO ANY INSTALLATION.
- GENERAL CONTRACTOR AND ALL SUB TRADES TO MAKE EVERY EFFORT TO PURCHASE MATERIALS FROM LOGGALLY EXTRACTED AND MANUFACTURED SOURCES (WITHIN 500 MILE RADIUS).
- ALL WOOD PRODUCTS USED FOR FRAMING, ETC., THAT ARE NOT CLASSIFIED AS "INTERIOR FINISH MATERIALS" ACCORDING TO CODE SHALL BE FIRE PRESSURE TREATED LUMBER.
- PROVIDE FIRE BLOCKING AND DRAFT STOPPING AS SPECIFIED IN CODE CONCEALED WALL SPACES, IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED OR STUDDED OFF SPACES OF MASONRY OR CONCRETE WALLS, AT THE CEILING, FLOOR, OR ROOF LEVELS.
- PENETRATION THRU RATED WALLS AND FLOORS SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN SUBJECT TO THE REQUIREMENTS OF THE TEST STANDARD SPECIFIED FOR FIRE STOPS ASTM-E-814.
- LIGHT FIXTURES TO BE SUPPORTED INDEPENDENTLY OF SUSPENDED CEILING OR THE SUSPENDED CEILING SHALL BE SUPPORTED WITHIN 6" OF EACH CORNER OF FIXTURE IN ACCORDANCE WITH ASTM C-636 T6. REFER TO DETAILS IN PLANS.
- EXIT AND EMERGENCY LIGHTING - EXIT AND EMERGENCY LIGHTING SHALL BE ADEQUATE HOWEVER THE CITY RESERVES THE RIGHT TO MAKE FINAL DETERMINATION ON SITE.
- INTERIOR FINISH - CERTIFICATION OF "FIRE RATINGS" SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT BY THE TENANT FOR CARPETING AND OTHER INTERIOR FINISH MATERIAL REQUIRED BY CODE PRIOR TO THE ISSUANCE OF OCCUPANCY PERMIT.
- COMPLY WITH SPECIAL WORKING CONDITIONS RELATIVES TO THE PROJECT, INCLUDING BUT NOT LIMITED TO REQUIREMENTS FOR TEMPORARY PROTECTION, TRASH MANAGEMENT, NOISE, LIGHT, DUST AND POLLUTION CONTROL, AND LIMITATIONS ON WORKING HOURS.
- EX. TREES ON SITE TO BE PRUNED AS DIRECTED BY CBRE PROJECT MANAGER.

### CODE SUMMARY

CRITERIA	REQUIREMENTS	KBC 2018 CHAPTER #
TYPE OF CONSTRUCTION	III-B	KBC SECTION 601
NUMBER OF FLOORS	(EXISTING) 1 FLR	
BUILDING HEIGHT	(EXISTING) / NO CHANGE (PROPOSED)	
USE AND OCCUPANCY GROUP	B - BUSINESS (CLINICAL OFFICE)	KBC SECTION 602
AREA AND OCCUPANT LOAD CALCULATIONS		
EX. OVERALL SPACE:	8,161 S.F. GROSS (4,500 S.F. ALLOWABLE)	KBC TABLE 1004.11 / 1004.12
OFFICES (B. CLINICAL OFFICE):	5,544 SQ FT / 100 SQ FT PER OCCUPANT = 55 OCCUPANTS	KBC TABLE 503
CORRIDORS:	NOT COUNTED	
MECHANICAL:	NOT COUNTED	
RESTROOMS:	NOT COUNTED	
TOTAL SQUARE FEET / TOTAL OCCUPANTS	5,544 SF / 55 OCCUPANTS	
EXITS REQUIRED / EXITS PROVIDED		
	3 / 3	KBC TABLE 1021.1
EGRESS WIDTH REQUIRED:		
55 OCCUPANTS x 20" INCHES PER OCCUPANT =	11.0" REQUIRED	KBC SECTION 1005.1
EGRESS WIDTH PROVIDED		
(4) DOORS x 34" EACH =	136" PROVIDED	
MAXIMUM TRAVEL DISTANCE:		
	200'-0" MAXIMUM	KBC TABLE 1016.1
MAXIMUM COMMON PATH DISTANCE:		
	75'-0" MAXIMUM	KBC SECTION 1014.3
PLUMBING CALCULATION		
		KBC TABLE 2402.1
MALE: B - 55 OCCUPANTS		
TOILETS - 1 PER 50 / LAVS - 1 PER 80		
TOILETS : 28/50 = 0.56 LAVS : 28/80 = 0.35 (SEE NOTE 1)	REQUIRED: 1 TOILET / 1 LAV	PROVIDED: 3 TOILET / 2 LAV
FEMALE: B - 55 OCCUPANTS		
B: TOILETS - 1 PER 50 / LAVS - 1 PER 80 (SEE NOTE 1)		
TOILETS : 28/50 = 0.56 LAVS : 28/80 = 0.35	REQUIRED: 1 TOILET / 1 LAV	PROVIDED: 3 TOILET / 2 LAV
ACTUAL FIXTURES PROVIDED (TESTING RESTROOM FIXT. NOT INCLUDED)		6 TOILETS / 4 LAV

### CODE NOTES

- PLUMBING FACILITIES CALCULATED AS B BUSINESS / CLINICAL OFFICE. CODING IS DECIDED BY TENANT BUSINESS OPERATION WHERE CLINICAL OFFICE IS THE PRIMARY OPERATION & SERVICE.
- THE 2018 KENTUCKY BUILDING CODE (KBC) WENT INTO EFFECT AUG 22, 2018. MANDATORY EFFECTIVE DATE FOR 2018 KBC WILL BE JANUARY 1, 2019.

### APPLICABLE CODES

2018 KENTUCKY BUILDING CODE  
2012 INTERNATIONAL MECHANICAL CODE  
2012 INTERNATIONAL ENERGY CONSERVATION CODE  
2009 ICC / ANSI A117 ACCESSIBILITY CODE  
2012 NFPA FIRE PREVENTION CODE  
2014 NFPA NATIONAL ELECTRICAL CODE  
ANY AND ALL APPLICABLE LOCAL, STATE, REGIONAL & FEDERAL CODES AND REGULATIONS.

### PROJECT SUMMARY

THIS PROJECT CONSISTS OF THE INTERIOR IMPROVEMENTS OF AN EXISTING VACANT BUILDING. THE WORK OF THIS PHASE INCLUDES: THE LIMITED DEMOLITION OF SELECT INTERIOR PARTITION WALLS; THE CONSTRUCTION OF NEW INTERIOR PARTITION WALLS; THE CONSTRUCTION AND INSTALLATION OF NEW INTERIOR FINISHES; THE MODIFICATION OF EXISTING ELECTRICAL AND MECHANICAL SYSTEMS; AND ALL NECESSARY AND PERTINENT ITEMS AS DIRECTED AND SPECIFIED BY THE ARCHITECT.

### DRAWING INDEX

NO.	COVER SHEET	REVISIONS	-	-	-	-	-	-	-	-
<b>ARCHITECTURAL</b>										
LS1.0	LIFE SAFETY PLAN & NOTES									
DL.0	DEMOLITION PLAN & NOTES									
AI.0	FLOOR PLAN & NOTES									
AI.1	REFLECTED CEILING PLAN & NOTES									
A2.0	FINISH PLAN & NOTES									
A3.0	ENLARGED PLANS & INTERIOR ELEVATIONS									
A3.1	DETAILS									
A3.2	DOOR, FINISH, & ROOM SCHEDULES & NOTES									
A4.0	ACCESSIBILITY									
A4.1	ACCESSIBILITY CONT.									
A5.0	SPECIFICATIONS									
A5.1	SPECIFICATIONS CONTINUED									
A5.2	SPECIFICATIONS CONTINUED									
A5.3	SPECIFICATIONS CONTINUED									
A5.4	SPECIFICATIONS CONTINUED									
A5.5	SPECIFICATIONS CONTINUED									
<b>MECHANICAL &amp; PLUMBING</b>										
MP1.0	MECHANICAL & PLUMBING PLANS									
MP2.0	MECHANICAL & PLUMBING DETAILS & SCHEDULES									
MP3.0	MECHANICAL & PLUMBING SPECIFICATIONS									
MP3.1	MECHANICAL & PLUMBING SPECIFICATIONS									
MP3.2	MECHANICAL & PLUMBING SPECIFICATIONS									
<b>ELECTRICAL</b>										
E1.0	POWER PLAN									
E2.0	LIGHTING PLAN									
E3.0	ELECTRICAL SPECIFICATIONS									

### CONTACTS

#### ARCHITECT

FRED MARGULIES  
25001 EMERY ROAD, SUITE 400  
CLEVELAND, OH 44128  
CONTACT: FRED MARGULIES  
PH: 216-223-9220  
E: fmargulies@onyxcreative.com

#### MECHANICAL ENGINEER

BLUE STREAK CONSULTING  
25001 EMERY ROAD, SUITE 420  
CLEVELAND, OH 44128  
CONTACT: ANDREW IDOVICH  
PH: 216-223-9255  
E: andovich@bluestreak-consulting.com

#### ELECTRICAL ENGINEER

BLUE STREAK CONSULTING  
25001 EMERY ROAD, SUITE 420  
CLEVELAND, OH 44128  
CONTACT: TRISTAN KIPP  
PH: 216-223-9258  
E: tkipp@bluestreak-consulting.com

#### OWNER'S REPRESENTATIVE

CBRE RETAIL PROJECT MANAGEMENT  
1100 SUPERIOR AVENUE, SUITE 600  
CLEVELAND, OH 44114  
CONTACT: JIM MITT  
PH: 216-752-4480  
E: jim.mitt@cbre.com

#### MUNICIPALITY

FRANKLIN COUNTY PLANNING & ZONING  
321 WEST MAIN STREET  
FRANKFORT, KY 40601  
CONTACT: ROBERT HENITT, DIRECTOR  
PH: 502-875-8101  
E: rhenitt@franklincountyky.com

### REQUIRED VENDORS

#### LIGHT FIXTURES / DIMMERS

MARS ELECTRIC SUPPLY  
CONTACT: PHIL HARRELL  
PH: 216-470-3542  
E: pharrell@mars-electric.com

#### CARPET

INTERFACE  
CONTACT: JEFF CREJCI  
PH: 440-125-2440  
E: jeff.crejci@interface.com

#### OFFICE SIGNAGE

MYDOORSIGN.COM  
300 CADMAN PLAZA WEST, SUITE 1503  
BROOKLYN, NY 11201  
PH: 800-452-1457

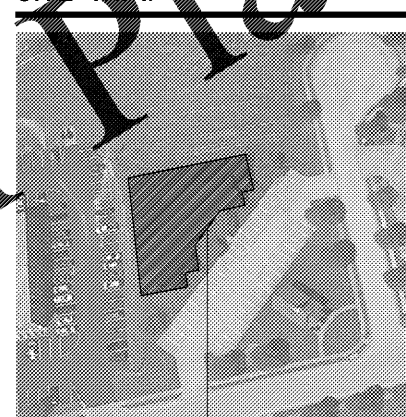
### VICINITY MAP



CHARITY COURT



### SITE MAP



LIFESTANCE HEALTH



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LifeStance HEALTH  
TENANT IMPROVEMENT  
649 CHARITY COURT  
FRANKFORT, KY 40601

Project No: 16632  
Drawn By: BCR  
Date: 08-29-18  
Issue: Owner Review  
09-05-18  
Bid & Permit

CVR

COVER SHEET