

Field Verification Requirement:
Tenant, Tenant's Design Team, and Tenant's Contractors shall field verify all field conditions prior to the start of any construction. Be advised that all changes and modification to the Landlord's approved drawings shall be resubmitted to Landlord for re-approval. Any construction completed with out Landlord approval shall be corrected as approved by Landlord at Tenant's expense.

SIMON Floor Plan Comments:

*Tenant is responsible to field verify all existing conditions and dimensions in the space. Failure to properly field verify existing conditions does not relieve the Tenant of any expenses or responsibilities resulting from that failure.

*Nothing is permitted to be attached to, suspended from, or penetrate Landlord's structure, floor deck, or roof deck. You may attach, non-destructively, to or suspend from the top chord of the joist or the structural steel which exists above the lowest space. When attaching to Landlord's structure, do NOT drill, weld, screw, or staple into structure. Alternative methods of attachment OR, if, referring to structural details, base building structure, Tenant shall provide, design and sealed structural drawings, by a structural engineer, legally prove registration as indicated in particular requirements, for all structural modifications, for Landlord records.

*Structural reinforcing details shall be provided by a registered structural engineer to Tenant's satisfaction for all most of or suspension, service channels, duct penetrations, etc.

*Any electrical equipment, components, and/or service leading other than that is existing in the space must remain visible and accessible to the Landlord. Tenant shall install access panels as required for electrical access. Access panels shall be labeled in permanent, legible system, coordinate with Mall standards.

*A stockroom may not be visible from the sales area. (s) leading to the stockrooms must have an automatic closure.

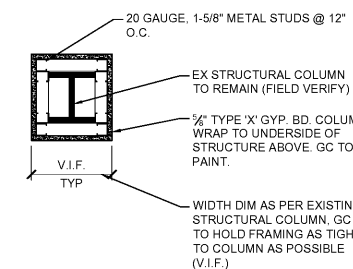
*All rear entries must have a doorbell for deliveries.

*All concrete patching must be level with the existing concrete floor.

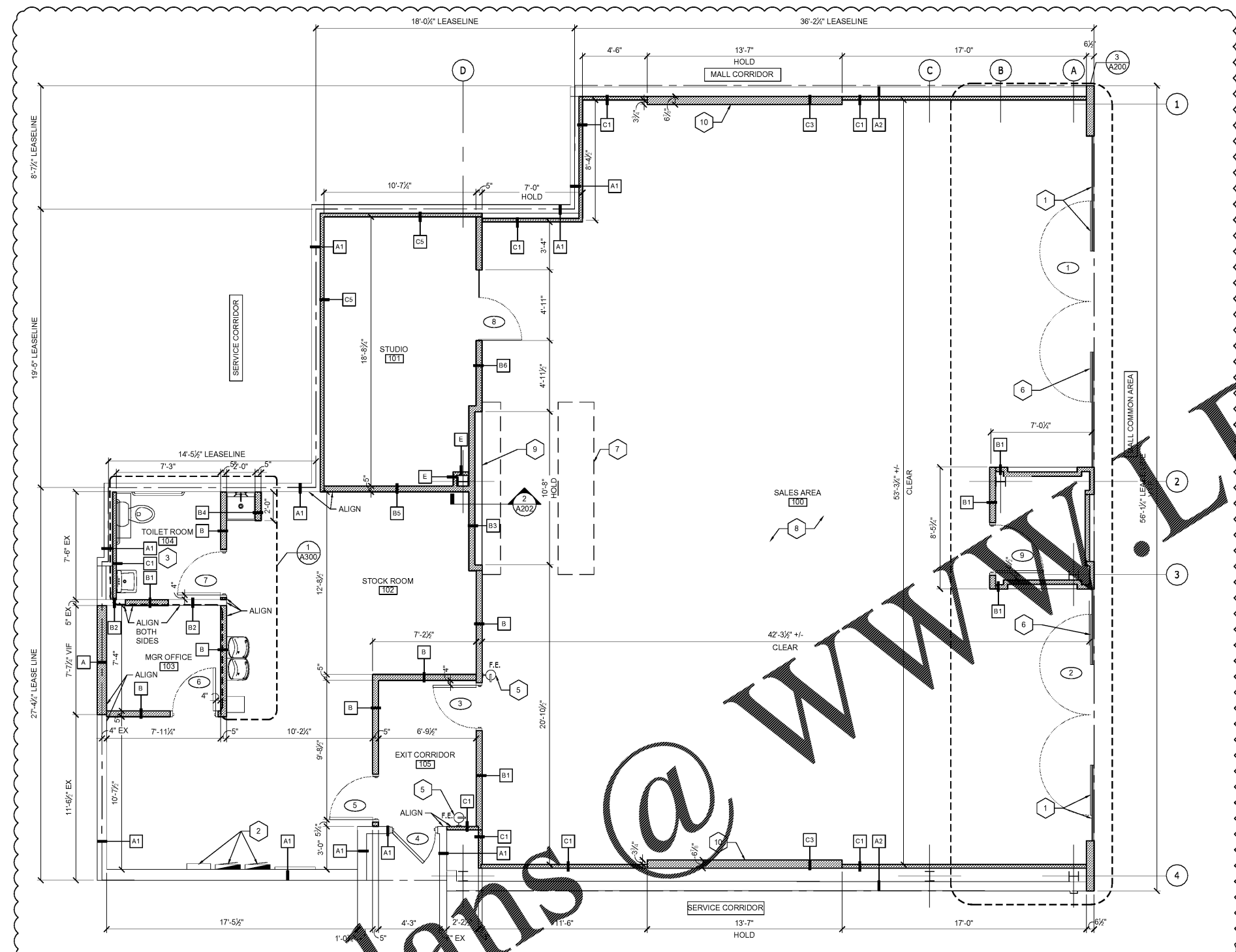
*Tenant is required to install a waterproof membrane in all wet areas (Restrooms, Kitchens, food services, etc...) of the space. Tenant shall use a 30 mil polyethylene cleavage membrane (equal to Koblement 18) installed per manufacturer's recommendations and ANSI A138. Membrane must be extended up the wall a minimum of 6" or equal to the height of the floor base.

NOTE:

COORDINATE ALL TRENCHING OF SLAB WITH MALL OPERATIONS IN ADVANCE. NO EXPOSED EAS OR SECURITY DEVICES PERMITTED.



2 ENLARGED COLUMN DETAIL
A100 SCALE: 1" = 1'-0"



1 FLOOR PLAN
A100 SCALE: 1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES:

- A. DO NOT SCALE DRAWINGS.
- B. REFER TO G100 FOR ALL RESPONSIBILITIES.
- C. DIMENSIONS ARE FROM FINISH FACE TO FINISHED FACE UNLESS OTHERWISE NOTED.
- D. DIMENSIONS REQUIRED FOR FIELD VISIT PRIOR TO ANY BID SUBMISSION. NOTIFY ARCHITECT'S PROJECT MANAGER OF SCOPE OMISSIONS OR DISCREPANCIES.
- E. GC SHALL VERIFY ALL FIELD CONDITIONS, LEASED SPACE DIMENSIONS, AND EXISTING BUILDING ELEMENTS FOR COMPLIANCE WITH DRAWINGS BEFORE COMMENCING CONSTRUCTION. GC SHALL HAVE SOLE RESPONSIBILITY FOR CORRECTING ON-SITE CONDITIONS. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT'S PROJECT MANAGER FOR RESOLUTION.
- F. WALL, FLOOR BLOCKING, AND/OR MDF OTHER THAN FINISHED WOOD TRIM SHALL BE FIRE RETARDANT TREATED.
- G. METAL STUD PARTITIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- H. ANY EXISTING DEMISING WALL/SOFTIT SHALL BE FINISHED WITH GYPSUM BOARD TO DECK AND FIRE SEALED WITH APPROPRIATE APPROVED SYSTEM AS REQUIRED TO MAINTAIN 1 HOUR FIRE RATING PER DETAIL UL 465.
- I. FIRE RATED WALLS AND ANY PENETRATIONS MUST COMPLY WITH THE UL DETAILS U465 AND WL101.
- J. DIMENSION TOLERANCES: HOLD DIMENSIONS ARE TO BE BUILT TO NOTED DIMENSION ± INDICATES A TOLERANCE OF 2" IN EITHER DIRECTION. ALL OTHER DIMENSIONS TO BE HELD TO A 1/2" TOLERANCE. GC TO VERIFY ALL DIMENSIONS AND REPORT TO THE ARCHITECT'S PROJECT MANAGER.
- K. BEGIN FRAMING AT THE STOREFRONT AND WORK TOWARDS THE REAR OF THE STORE TO ENSURE SALES FLOOR WALL SHOP DIMENSIONS ARE HELD AS NOTED.

KEY NOTES:

- 1. NEW STOREFRONT SYSTEM. SEE SHEETS A200 AND A201.
- 2. EXISTING ELECTRICAL PANELS AND EQUIPMENT TO REMAIN. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3. TOILET ROOM(S) - CONFIGURE PLUMBING FIXTURE LAYOUT AS SHOWN ON SHEET A300.
- 4. NOT USED.
- 5. FIRE EXTINGUISHER(S) - FIRE EXTINGUISHERS ARE TO BE TYPE 2-A MOUNTED AT 48" A.F.F. MAX. PRIOR TO INSTALLATION, COORDINATE EXACT LOCATION & QUANTITY WITH FIRE MARSHAL/SPECTOR.
- 6. PROVIDE SIGNAGE STATINGS "DOORS MUST REMAIN OPEN DURING BUSINESS HOURS" AT DOORS.
- 7. OUTLINE OF CASHWRAP. SEE SHEET A602.
- 8. PROVIDE F.R. PLYWOOD BLOCKING IN WALLS WHERE WALL FIXTURES ARE TO BE INSTALLED. SEE A500 FOR FIXTURE LOCATIONS.
- 9. LINE OF WALL FACE ABOVE AND BELOW RECESS.
- 10. GC TO PROVIDE FIRE RATED BLOCKING IN WALLS FOR SIGNAGE.

WALL TYPE SCHEDULE	
WALL TYPE	DESCRIPTION
A	NEW 1HR DEMISING WALL TO DECK
A1	EXISTING RATED DEMISING WALL TO DECK
A2	EXISTING MASONRY WALL
B	5" NOMINAL WALL WITH METAL STUDS TO DECK
B1	5" NOMINAL WALL WITH METAL STUDS AND DRYWALL TO CEILING
B2	EXISTING INTERIOR STUD & GYP. BD. ASSEMBLY TO REMAIN. G.C. TO PATCH & REPAIR AS REQUIRED.
B3	SEE DETAILS ON SHEET A202
B4	5" NOMINAL WALL WITH METALS TO 4'-0" A.F.F.
B5	5" NOMINAL WALL WITH METAL STUDS AND DRYWALL TO DECK WITH SOUND ATTENUATION BATT INSULATION TO 12'-5" AFF
B6	5" NOMINAL WALL WITH METAL STUDS, DRYWALL, AND SOUND ATTENUATION BATT TO CEILING
C1	3" NOMINAL FURRING WITH METAL STUDS, M.R. GYP BOARD IN WET AREAS, TO CEILING
C3	6 7/8" NOMINAL FURRING WITH METAL STUDS, M.R. GYP BOARD IN WET AREAS, TO 11'-0" A.F.F.
C5	3" NOMINAL FURRING WITH METAL STUDS, SOUND ATTENUATION BATT INSULATION, AND M.R. GYP BOARD IN WET AREAS, TO CEILING
E	FIRE RATED COLUMN ENCLOSURE. SEE DETAIL 2/A100.

ALL GYPSUM BOARD (NEW AND EXISTING) TO MAINTAIN/ACHIEVE LEVEL 5 FINISH PER GYPSUM ASSOCIATION GA-214-96

AREA	SQUARE FOOTAGE (S.F.)	S.F. AREA %
SALES AREA	2351 SQ. FT.	71%
STUDIO	231 SQ. FT.	7%
STOCK AREA	541 SQ. FT.	16%
EXIT CORRIDOR	70 SQ. FT.	2%
MGR OFFICE	58 SQ. FT.	2%
TOILET ROOM	56 SQ. FT.	2%
TOTAL	3307 SQ. FT.	100%

NO.	DATE	DESCRIPTION
1	09/05/2018	PERMIT/BID SET

DATE:	08/20/2018
DRAWN BY:	STAFF
PROJECT NO.:	18125
FILE NAME:	18125 Morphie - The Florida Mall.dwg