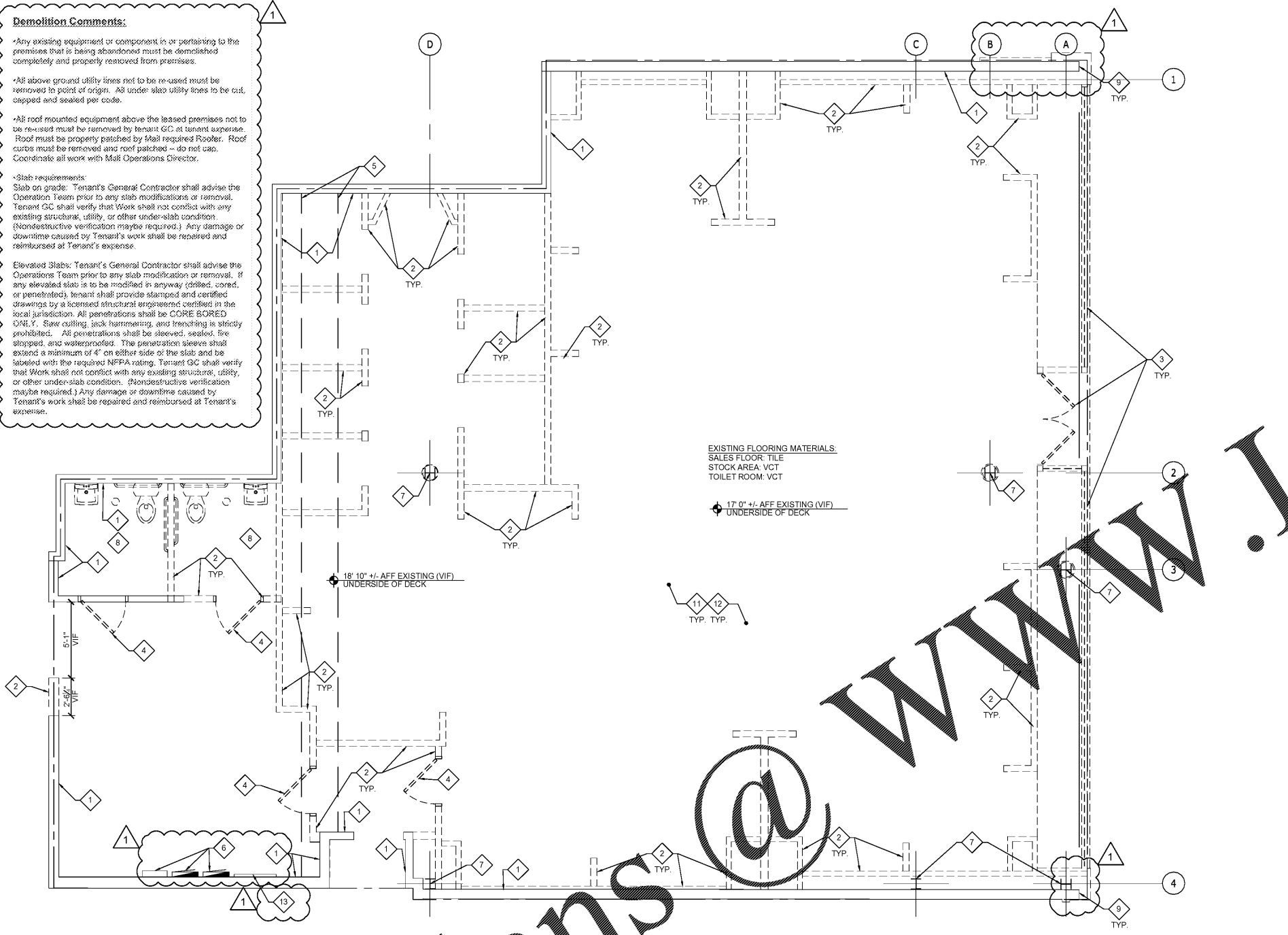


**Demolition Comments:**

\*Any existing equipment or component in or pertaining to the premises that is being abandoned must be demolished completely and properly removed from premises.  
\*All above ground utility lines not to be re-used must be removed to point of origin. All under slab utility lines to be cut, capped and sealed per code.  
\*All roof mounted equipment above the leased premises not to be re-used must be removed by tenant GC at tenant expense. Roof must be properly patched by slab required Roofer. Roof curbs must be removed and roof patched - do not cap. Coordinate all work with Mall Operations Director.

**\*Slab requirements:**  
Slab on grade: Tenant's General Contractor shall advise the Operations Team prior to any slab modifications or removal. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification may be required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's expense.

**Elevated Slabs:** Tenant's General Contractor shall advise the Operations Team prior to any slab modification or removal. If any elevated slab is to be modified in anyway (cribbed, core-d, or penetrations), tenant shall provide stamped and certified drawings by a licensed structural engineer, certified in the local jurisdiction. All penetrations shall be CORE SCORED UNL.V. Saw cutting, jack hammering, and trenching is strictly prohibited. All penetrations shall be sleeved, sealed, fire stopped, and waterproofed. The penetration sleeves shall extend a minimum of 4" on either side of the slab and be sealed with the required NFPA rating. Tenant GC shall verify that Work shall not conflict with any existing structural, utility, or other under-slab condition. (Nondestructive verification may be required.) Any damage or downtime caused by Tenant's work shall be repaired and reimbursed at Tenant's expense.



EXISTING FLOORING MATERIALS:  
SALES FLOOR: TILE  
STOCK AREA: VCT  
TOILET ROOM: VCT

17' 0" +/- AFF EXISTING (VIF)  
UNDERSIDE OF DECK

18' 10" +/- AFF EXISTING (VIF)  
UNDERSIDE OF DECK

**1 DEMOLITION PLAN**  
D100 SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**

- A. DO NOT SCALE DRAWINGS.
- B. THE GC SHALL BE RESPONSIBLE FOR ALL DEMOLITION DESCRIBED ON THIS DRAWING AND ANY OTHER DEMOLITION THAT MAY BE DIRECTED, IN WRITING BY THE ARCHITECT, NOT SPECIFICALLY NOTED ON THESE DRAWINGS.
- C. THE GC SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT & SERVICES. THE GC SHALL PERFORM ALL OPERATIONS REQUIRED FOR COMPLETE INTERIOR DEMOLITION REMOVALS AND RELATED WORK AS INDICATED AND SPECIFIED HEREIN, AND AS REASONABLY IMPLIED TO COMPLETE THE WORK IN ALL RESPECTS.
- D. THE GC SHALL REPAIR AT THEIR OWN EXPENSE ANY DAMAGE DONE TO THE OWNERS PROPERTY, AND ANY OTHER PERSON OR PERSONS ON OR OFF THE PREMISES AS A RESULT OF THE GC'S WORK DEFINED HEREIN.
- E. SALVAGE: REMOVE, REPAIR, CLEAN & STORE REMOVED ITEMS. MAY BE DIRECTED FOR RE-USE BY THE ARCHITECT AND/OR OWNER.
- F. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND/OR SPECIALTY DRAWINGS FOR ANY ADDITIONAL DEMOLITION NOTES.
- G. THE GC SHALL REMOVE ALL ABANDONED MATERIALS, DEVICES, FIXTURES, PIPES, CONDUITS, WIRES, ETC. FROM PREMISES INCLUDING THE AREA OF THE FINISH FLOOR AND CONNECTION POINTS OUTSIDE OF THE TENANT SPACE. RETURN TO TENANT SPACE TO BASE BUILDING CONDITIONS.
- H. WHEN EXISTING THE GC SHALL REMOVE ALL EXISTING STORE FIXTURES.
- I. WHEN EXISTING THE GC SHALL REMOVE EXISTING CASH TRAP (VERIFY IN FIELD).
- J. THE GC SHALL REMOVE ALL EXISTING FINISHED FLOOR MATERIALS DOWN TO THE EXISTING CONCRETE SLAB UNLESS NOTED OTHERWISE. SECURE ALL ADHESIVE IS REMOVED COMPLETE. PATCH AND REPAIR AS NECESSARY TO PREPARE FOR NEW FINISH FLOOR INSTALLATION. COORDINATE WITH SHEET A401.
- K. THE GC SHALL REMOVE EXISTING PARTITIONS FROM ALL EXISTING PARTITIONS TO REMAIN.
- L. THE GC SHALL VERIFY WITH LANDLORD IF FLOOR X-RAYS OR SLAB SCANS ARE REQUIRED.
- M. THE GC SHALL REPORT ALL POTENTIAL CONFLICTS WITH EXISTING ITEMS TO REMAIN TO THE TENANT'S CONSTRUCTION PROJECT MANAGER PRIOR TO BID.
- N. THE GC SHALL REPORT TO CONSTRUCTION PROJECT MANAGER, AT THE BEGINNING OF DEMOLITION, THE EXISTING CONDITION OF THE DATA SERVICE, EQUIPMENT AND PHONE SERVICE IF EXISTING IS IN WORKING ORDER. GC TO COIL LINES FOR FUTURE USE BY OTHERS. COORDINATE WITH TENANT. GC IS RESPONSIBLE FOR ANY DAMAGE OR LOSS OF DATA/PHONE EQUIPMENT AND SERVICES.
- O. THE G.C. SHALL MAINTAIN ALL FIRE RATINGS AS REQUIRED BY LOCAL CODES, LANDLORD AND FIRE AUTHORITIES. IF EXISTING, REPAIR ANY FIRE PROOFING ON EXISTING STRUCTURAL STEEL MEMBERS WHETHER IT BE SPRAY-ON OR OTHER AFTER DEMOLITION.
- P. PROVIDE ADEQUATE PROTECTION FOR ALL FINISHED FLOORS TO REMAIN DURING DEMOLITION.
- Q. DISCONNECT AND REMOVE ALL EXISTING LIGHTING FIXTURES, OUTLETS, WIRING, OUTLET BOXES, EQUIPMENT AND DEVICES THAT ARE MADE OBSOLETE BY NEW CONSTRUCTION.
- R. GC SHALL PATCH ALL SURFACES DISTURBED BY REMOVALS OF EXISTING CONSTRUCTION OR INSTALLATION OF NEW WORK.
- S. GC SHALL NOT LEAVE ANY REMAINING CONSTRUCTION UNSUPPORTED. SECURE, SUSPEND AND/OR ANCHOR ANY EXISTING CONSTRUCTION AS REQUIRED. DO NOT HANG FROM ROOF DECK.
- T. ALL DOOR HARDWARE MUST BE REPLACED AS SPECIFIED ON SHEET A302.
- U. G.C. TO FIELD VERIFY LEASE LINE DIMENSIONS AFTER DEMOLITION & PRIOR TO FRAMING. IF ANY DISCREPANCIES, G.C. TO NOTIFY ARCHITECT PROJECT MANAGER IMMEDIATELY.

**X KEY NOTES:**

1. EXISTING PARTITION TO REMAIN. REMOVE EXISTING TENANT FINISHES. PATCH AND REPAIR AS NECESSARY.
2. REMOVE EXISTING PARTITION(S), AS SHOWN DASHED. INCLUDING ANY ELECTRICAL DEVICES, DOORS, WINDOWS, FINISHES AND OTHER ASSOCIATED ITEMS - VERIFY IN FIELD.
3. REMOVE ENTIRE EXISTING STOREFRONT, INCLUDING EXISTING TENANT BULKHEAD, SIGNAGE, DISPLAY PLATFORMS AND ANY RELATED ITEMS, INCLUDING TENANT STRUCTURAL ELEMENTS, IF NECESSARY, FOR CONSTRUCTION OF NEW STOREFRONT.
4. REMOVE EXISTING DOOR, FRAME, AND HARDWARE COMPLETE.
5. EXISTING ROOF DRAINS AT 11'-5" AFF TO REMAIN.
6. EXISTING ELECTRICAL EQUIPMENT TO REMAIN. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
7. EXISTING STRUCTURAL COLUMN TO REMAIN. REMOVE EXISTING ENCLOSURE.
8. THE GC SHALL REMOVE EXISTING TOILET ROOM COMPLETE AND CAP ALL UNUSED PLUMBING LINES FLUSH WITH CONCRETE SLAB IN COMPLIANCE WITH APPLICABLE BUILDING CODES. ALSO REPAIR ANY HOLES OR DAMAGE TO THE CONCRETE SLAB TO PROVIDE A SMOOTH AND LEVEL SURFACE.
9. EXISTING NEUTRAL PIER. MODIFY AS REQUIRED FOR NEW NEUTRAL PIER DESIGN. COORDINATE WITH MALL. GC WILL REMOVE PORTIONS OF PIER ON TENANT'S SIDE AND INSTALL NEW MALL STANDARD BLACK REVEAL CENTERED ON AT LEASE LINE. TYP. NOT USED.
10. THE GC SHALL REMOVE EXISTING HVAC UNIT, DUCTWORK, DIFFUSERS, GRILLES, AND ALL OTHER ASSOCIATED ITEMS (UNO). COORDINATE WITH MECHANICAL PLANS & VERIFY IN FIELD. REMOVE ANY ROOFTOP EQUIPMENT NOT BEING REUSED IN NEW BUILD-OUT.
11. THE GC SHALL REMOVE THE ENTIRE EXISTING CEILING SYSTEM COMPLETE, INCLUDING LIGHT FIXTURES AND RELATED CEILING SUPPORT STRUCTURE (H.H.O.).
12. EXISTING TELEPHONE BOARD TO REMAIN. REFER TO ELECTRICAL DRAWINGS FOR MORE INFORMATION.

**1** NOTE: COORDINATE ALL ASPECTS OF DEMO AND PROTECTION WITH MALL IN ADVANCE/MALL BARRICADE VENDOR REQUIRED. PROVIDE GRAPHICS FOR LOCAL MALL MANAGER APPROVAL/ATTENTION: MICHAEL HUESSER / MHUESSER@SIMON.COM

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NO.	DATE	DESCRIPTION
1	09/05/2018	PERMIT/BID SET

DATE:	08/20/2018
DRAWN BY:	STAFF
PROJECT NO.:	18125
FILE NAME:	18125 Morphe - The Florida Mall.dwg

**DEMOLITION PLAN**

**D100**

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