

SCHEDULE B SECTION II EXCEPTIONS:

BASED ON THE TITLE COMMITMENTS PROVIDED, THERE ARE NO EASEMENTS THAT AFFECT THE SUBJECT PROPERTIES.

DESCRIPTION - 05-1S-30-0407-001-002 (1730 E. NINE MILE ROAD)
(OFFICIAL RECORDS BOOK 4101, PAGE 0301)

LOT 1, AND THE WEST HALF OF LOT 2, BLOCK 2, PLAINFIELD SUBDIVISION, BEING A SUBDIVISION OF A PORTION OF SECTION 5, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 3, AT PAGE 47, PUBLIC RECORDS OF SAID COUNTY.

DESCRIPTION - 05-1S-30-0407-002-002 (1750 E. NINE MILE ROAD)
(OFFICIAL RECORDS BOOK 4826, PAGE 1411)

LOT 3, AND THE EAST ONE-HALF OF LOT 2, IN BLOCK 2, PLAINFIELD, A SUBDIVISION OF SECTION 5, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ESCAMBIA COUNTY, FLORIDA, ACCORDING TO PLAT RECORDED IN PLAT BOOK 3, AT PAGE 47, OF THE PUBLIC RECORDS OF SAID COUNTY.

DESCRIPTION - 05-1S-30-0407-004-002 (BARRANGER ROAD)
(OFFICIAL RECORDS BOOK 3964, PAGE 0346)

LOT 4, BLOCK 2, PLAINFIELD SUBDIVISION, A SUBDIVISION OF A PORTION OF SECTION 5, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ACCORDING TO PLAT FILED IN PLAT BOOK 3, PAGE 47, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

DESCRIPTION - 05-1S-30-0407-021-002 (PLAINFIELD ROAD)
(OFFICIAL RECORDS BOOK 1853, PAGE 274)

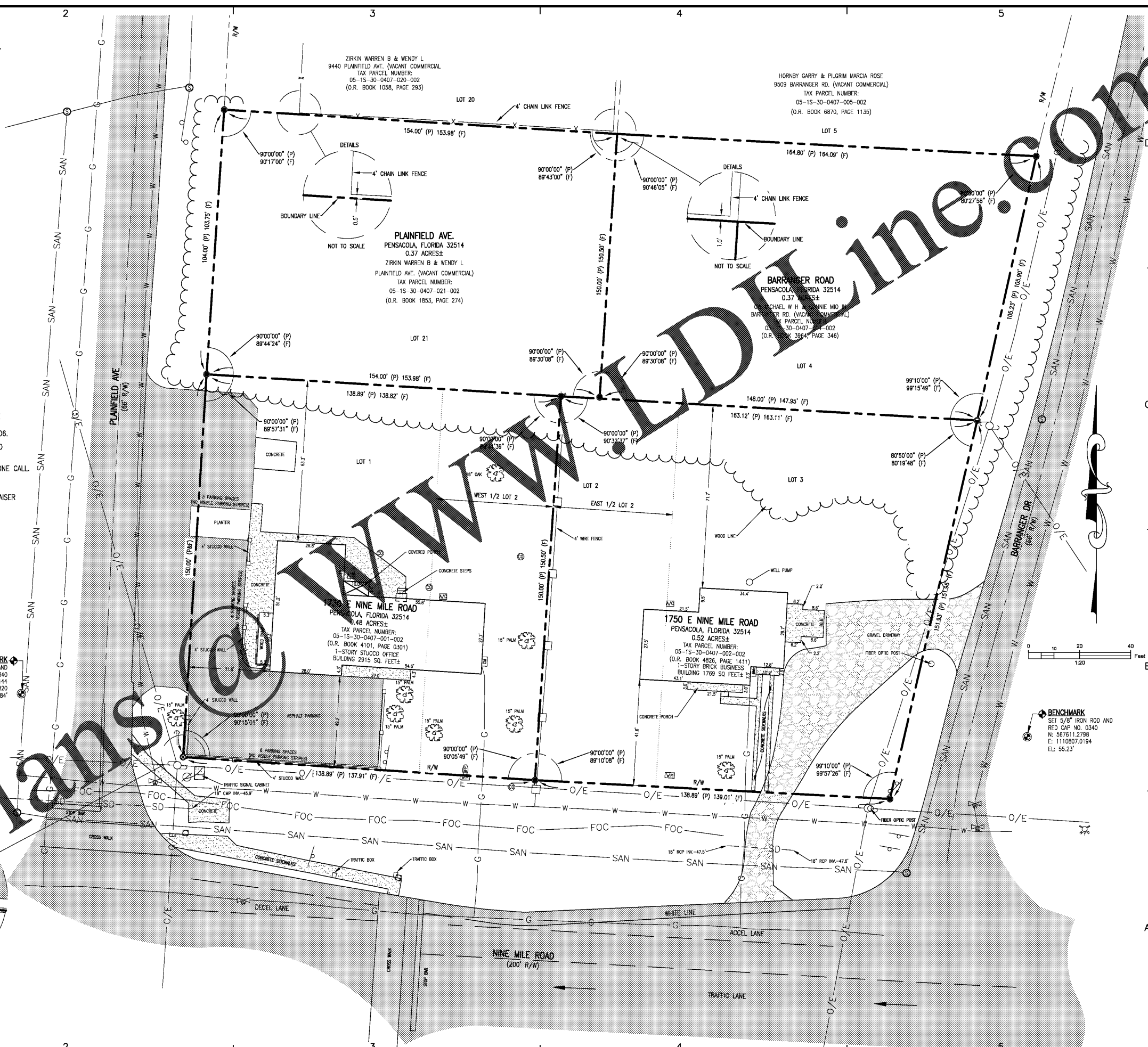
LOT 21, BLOCK 2, PLAINFIELD SUBDIVISION, A SUBDIVISION OF A PORTION OF SECTION 5, TOWNSHIP 1 SOUTH, RANGE 30 WEST, ACCORDING TO THE PLAT FILED IN PLAT BOOK 3, PAGE 47, OF THE PUBLIC RECORDS OF ESCAMBIA COUNTY, FLORIDA.

GENERAL NOTES

- NORTH AND THE SURVEY DATUM SHOWN HEREON IS BASED ON THE PLAT OF PLAINFIELD SUBDIVISION, PLAT BOOK 3, PAGE 47, OF ESCAMBIA COUNTY, FLORIDA, THE FLORIDA STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD83), AND EXISTING FIELD MONUMENTATION.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- TWO TITLE COMMITMENTS PREPARED BY STEWART TITLE GUARANTY COMPANY, FILE NO. ATP0288, WITH AN EFFECTIVE DATE OF NOVEMBER 03, 2017 AT 8:00 AM, AND ALSO FILE NO. ATP0287, WITH AN EFFECTIVE DATE OF NOVEMBER 04, 2017 AT 8:00 AM, WERE USED IN PREPARING THIS SURVEY.
- IT IS THE OPINION OF THE UNDERSIGNED SURVEYOR THAT THE PARCEL OF LAND SHOWN HEREON IS IN ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, BASED ON THE FLOOD INSURANCE RATE MAPS FOR ESCAMBIA COUNTY, FLORIDA, MAP NUMBER 12033003156, DATED SEPTEMBER 29, 2006).
- THE FIELD SURVEY WAS PERFORMED FROM DECEMBER 26, 2017 THROUGH JANUARY 10, 2018 AND RECORDED IN FIELD BOOK 17-09, PAGES 28-30.
- UTILITIES AS SHOWN ARE BASED ON VISIBLE LOCATION; SUBSURFACE UTILITIES WERE LOCATED BY SUNSHINE ONE CALL.
- THE ENCROACHMENTS ARE AS SHOWN HEREON.
- THE ADJACENT PROPERTY OWNER INFORMATION WAS OBTAINED USING THE ESCAMBIA COUNTY PROPERTY APPRAISER WEBSITE (HTTP://WWW.ESCPA.ORG).
- THERE WAS NO EVIDENCE FOUND THAT THE PROPERTY SHOWN HAS BEEN USED AS A CEMETERY.
- THE DESCRIPTION SHOWN HEREON DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT PREPARED BY STEWART TITLE GUARANTY COMPANY.
- NO WETLANDS DELINEATION OF WETLANDS MARKED OR OBSERVED ON PROPERTY SHOWN HEREON.

LEGEND

- PROPERTY LINE
- CENTER LINE
- R/W — RIGHT-OF-WAY
- INV. — INVERT
- EL. — ELEVATION
- O.R. — OFFICIAL RECORDS BOOK
- (P) — PLAT
- (F) — FIELD
- BENCHMARK
- SET 5/8" IRON ROD #0340
- SET CAPPED IRON ROD #0340
- EXISTING CAPPED IRON ROD #7107
- EXISTING 5/8" IRON ROD (NO CAP)
- FOUND NAIL AND CAP (UNNUMBERED)
- FIBER OPTIC CABLE
- GAS LINE
- OVERHEAD ELECTRIC LINE
- SANITARY SEWER LINE
- STORM DRAINAGE
- BURIED TELEPHONE LINE
- WATER LINE
- ELECTRIC METER
- GAS VALVE
- GAS METER
- WATER VALVE
- WATER METER
- PEDESTRIAN CROSSING POST
- BACKFLOW PREVENTER
- FIRE HYDRANT
- DRAINAGE MANHOLE
- SANITARY SEWER MANHOLE
- SEWER STUB OUT
- SEWER CLEAN OUT
- SERVICE POLE
- POWER POLE
- LIGHT POLE
- UTILITY ANCHOR
- SINGLE SUPPORT SIGN
- DOUBLE SUPPORT SIGN
- PVC — POLYVINYL CHLORIDE PIPE
- RCF — REINFORCED CONCRETE PIPE
- CMP — CORRUGATED METAL PIPE
- INV. — INVERT



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BASKERVILLE-DONOVAN, INC.
Innovative Infrastructure Solutions
449 W. MAIN ST., PENSACOLA, FL 32502 (850) 386-8861
ENGINEERING BUSINESS EB-000340
Pensacola - Panama City Beach - Tallahassee - Mobile - Brewster County - Tampa

KRISPY KREME
1730 E. NINE MILE ROAD

PROJECT NO: 117401.01
DESIGNED BY: DKH
DRAWN BY: THO
CHK'D BY: DKH
PROJ. MGR.: DKH
DATE: AUGUST 2018

LEGAL DESCRIPTION & PROPERTY BOUNDARY

G-001

NO.	DATE	APPR.	REVISION/ACTION TAKEN

NOT RELEASED FOR CONSTRUCTION BY _____ DATE _____

KETH P. GUTHRIE, P.E.
FL Reg. Engineer #47905

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