

3732 US HWY 280
PHENIX CITY, AL
36867



SCOPE OF WORK

TENANT IMPROVEMENT OF AN EXISTING SHELL SPACE.

- EXTERIOR**
1. EXISTING FINISHES, AND STOREFRONT TO REMAIN
 2. NEW SIGNAGE UNDER SEPARATE PERMIT
 3. NEW EXTERIOR COOLER AND CORRESPONDING SLAB
 4. NEW ELECTRICAL PANELS AND RTU UNITS
- INTERIOR**
1. ALL NEW FLOOR FINISHES, CEILINGS, EQUIPMENT, CASEWORK AND FURNITURE.
 2. NEW GYP WRAP ON ALL EXISTING WALLS AND STRUCTURE.
 3. TRENCH EXISTING SLAB FOR NEW UTILITIES
 4. ALL NEW RESTROOMS

GENERAL NOTES

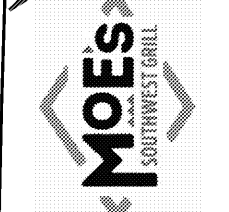
1. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR SPECIFICATIONS PRIOR TO PROCEEDING WITH CONSTRUCTION. CONTRACTOR SHALL BEAR RESPONSIBILITY FOR VERIFYING COMPLIANCE OF THE SHOP DRAWINGS WITH THE PLANS PRIOR TO ORDERING MATERIALS OR BEGINNING FABRICATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES OR STATUTES WITH REGARD TO THE CONSTRUCTION OF THIS PROJECT, WHETHER SPECIFICALLY REFERRED BY CONTRACT DOCUMENTS OR NOT.
3. CONTRACTOR SHALL VERIFY AND COORDINATE SPECIFIC REQUIREMENTS FOR OWNER - PROVIDED AND / OR INSTALLED EQUIPMENT, IF APPLICABLE.
4. CONTRACTOR IS RESPONSIBLE FOR ALL DEBRIS REMOVAL FROM PREMISES. THIS INCLUDES ALL OWNERS VENDORS.
5. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK INCLUDED IN THE CONTRACT DOCUMENTS. ALL CORRESPONDENCE TO AND FROM SUBCONTRACTORS SHALL BE ROUTED THROUGH THE GENERAL CONTRACTOR.
6. ADJACENT WORK, INCLUDED UNDER OTHER CONSTRUCTION CONTRACTS, WHICH IS DAMAGED DURING EXECUTION OF THIS CONTRACT WORK, SHALL BE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REPAIR PRIOR TO FINAL ACCEPTANCE OF THE WORK.
7. GENERAL CONTRACTOR TO PROVIDE ALL GOVERNMENT - REQUIRED SIGNAGE NECESSARY FOR CERTIFICATE OF OCCUPANCY (FIRE LANE SIGNAGE, "DO NOT BLOCK DOOR" ETC.).
8. THE GENERAL CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING ANY WORK.
9. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND SAFETY OF THE SITE AS REQUIRED IN THE CONTRACT DOCUMENTS. THIS SHALL INCLUDE ALL TEMPORARY FENCING, BARRICADES, ETC. REQUIRED TO SECURE THE SITE.
10. ALL FIRE RATED CONSTRUCTION SHALL CONFORM WITH U.L. TESTED STANDARDS AND / OR LOCAL REQUIREMENTS.
11. THE PROJECT DOCUMENTS PROVIDE THAT NO ASBESTOS PRODUCTS, PCB'S OR OTHER SUBSTANCE DEEMED TOXIC OR HAZARDOUS UNDER APPLICABLE FEDERAL OR STATE LAWS, RULES, REGULATIONS OR ORDINANCE, ARE TO BE CONTAINED OR INCORPORATED IN THE PROJECT WORK. FURTHER, ALL CONTRACTORS, SUBCONTRACTORS, MANUFACTURERS AND SUPPLIERS WHOSE EQUIPMENT, MATERIALS AND PRODUCTS ARE INCORPORATED IN THE WORK SHALL PROVIDE A CERTIFICATION ACCEPTABLE TO OWNER WARRANTING THAT THEIR EQUIPMENT, MATERIALS OR PRODUCTS ARE FREE FROM ASBESTOS, ASBESTOS PRODUCTS, PCB'S OR OTHER SUBSTANCE DEEMED HAZARDOUS BY APPLICABLE FEDERAL OR STATE LAWS, RULES, REGULATIONS, OR ORDINANCES.
12. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL WORK DESCRIBED IN CONTRACT DOCUMENTS. SUBCONTRACTORS SHALL REVIEW ALL DOCUMENTS, AS THERE IS NO LIMIT ON WHERE DESCRIPTION OF WORK IS INCLUDED. NO CHANGE ORDERS WILL BE CONSIDERED FOR FAILURE TO REVIEW ALL CONTRACT DOCUMENTS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DOCUMENTS TO ALL TRADES UNDER HIS / JURISDICTION.
13. NO WORK DEFECTIVE IN WORKMANSHIP OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE DESPITE THE ARCHITECT'S OWNER FAILURE TO DISCOVER OR POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTIVE WORK REVEALED OR DISCOVERED WITHIN THE TIME REQUIRED BY THE GUARANTEE SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSIDERED AS AN ACCEPTANCE OF DEFECTIVE WORK OF IMPROPER MATERIALS.
14. TO THE FULLEST EXTENT PERMITTED BY LAW, THE GENERAL CONTRACTOR SHALL DEFEND AND HOLD HARMLESS LANDLORD AND TENANT AND ITS PARTNERS, OFFICERS, EMPLOYEES AND AGENTS (INDEMNITIES) AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF ITS CONTRACT, PROVIDING THAT ANY SUCH CLAIM, DAMAGE, OR LOSS EXPENSE (I) IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE, OR DEATH, OR TO INJURY TO OR DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF) INCLUDING THE LOSS OF USE RESULTING THEREFROM AND (II) IS CAUSED BY ANY NEGLIGENT ACT OR OMISSION OF TENANT'S CONTRACTOR OR ANYONE DIRECTLY OR INDIRECTLY EMPLOYED BY IT OR ANYONE FOR WHOM ACTS IT MAY BE LIABLE, REGARDLESS OF WHETHER IT IS ALLEGED TO BE CAUSED IN PART BY INDEMNITY. PROVIDED THAT, IF ANY INDEMNITY IS FOUND BY A FINAL JUDGMENT OF A COURT OF COMPETENT JURISDICTION ITSELF TO HAVE BEEN NEGLIGENT IN CONNECTION WITH SUCH OCCURRENCE, THEN SUCH INDEMNITY SHALL BE INDEMNIFIED THEREUNDER ONLY TO THE EXTENT OF INSURANCE COVERING SUCH LOSS.
15. GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A CURRENT SET OF CONSTRUCTION DOCUMENTS (INCLUDING ANY WRITTEN ADDENDA, CONSTRUCTION BULLETINS, SUPPLEMENTAL INSTRUCTIONS, ETC.) ON SITE DURING CONSTRUCTION. THE CONTRACTOR SHALL INDICATE ON THESE DOCUMENTS ALL APPROVED CHANGES PER SPECIFICATION.
16. IN REGARDS TO THE INSTALLATION OF BUILDING UTILITIES, CONTRACTOR TO CONTACT LOCAL JURISDICTION AS NEEDED TO LOCATE, G.C. TO VERIFY WITH EACH UTILITY COMPANY REQUIREMENTS FOR EITHER MOVING OR ADDRESSING UTILITIES. G.C. RESPONSIBLE FOR ALL RELOCATIONS, NEW SERVICE REQUIREMENTS, ETC. REQUIRED. GENERAL CONTRACTOR RESPONSIBLE FOR MEETING ALL UTILITY COMPANY REQUIREMENTS IN ASSOCIATION WITH MOES SOUTHWEST GRILL TENANT SPACE.
17. IN-LINE OR END-CAP CONSTRUCTION: GC SHALL SECURE, PAY FOR AND MAINTAIN TEMPORARY BARRICADE PRIOR TO CONSTRUCTION.
18. SPRINKLER SYSTEM PROVIDED & INSTALLED BY GCS SPRINKLER SUBCONTRACTOR. SPRINKLER SYSTEM DESIGN TO BE SUBMITTED UNDER SEPARATE CONTRACT.
19. SIGN VENDOR TO SUBMIT ALL SIGNAGE UNDER SEPARATE SUBMITTAL FOR PERMIT.
20. SPECIAL INSPECTION REPORTS AND FINAL REPORT IN ACCORDANCE WITH SECTION 1704.2.4 SHALL BE SUBMITTED TO THE BUILDING OFFICIAL PRIOR TO THE TIME THAT PHASE OF WORK IS APPROVED FOR OCCUPANCY.

DRAWING INDEX

SHEET	TITLE
COVER	COVER SHEET
ARCHITECTURAL	
A-001	ACCESSIBILITY DETAILS
A-002	ACCESSIBILITY PLAN
A-003	LIFE SAFETY PLAN
A-110	FLOOR REFERENCE PLAN
A-120	FLOOR DIMENSION PLAN
A-130	FLOOR FINISH PLAN
A-150	REFLECTED CEILING PLAN
A-200	ROOF PLAN
A-300	EXTERIOR ELEVATIONS
A-430	DETAILS
A-500	FINISH & MATERIAL SCHEDULES
A-501	INTERIOR ELEVATIONS
A-502	INTERIOR ELEVATIONS
A-503	INTERIOR ELEVATIONS
A-510	RESTROOM ELEVATIONS
A-700	DOOR/WINDOW SCHEDULES & DETAILS
EQ-100	EQUIPMENT SCHEDULES
EQ-101	FIXTURE SCHEDULES
EQ-110	FIXTURE & EQUIPMENT PLAN
STRUCTURAL	
S-010	GENERAL NOTES
S-011	SPECIAL INSPECTION NOTES
S-110	FOUNDATION PLAN
S-201	ROOF FRAMING PLAN
S-510	FOUNDATION SECTIONS AND DETAILS
S-511	FRAMING SECTIONS AND DETAILS

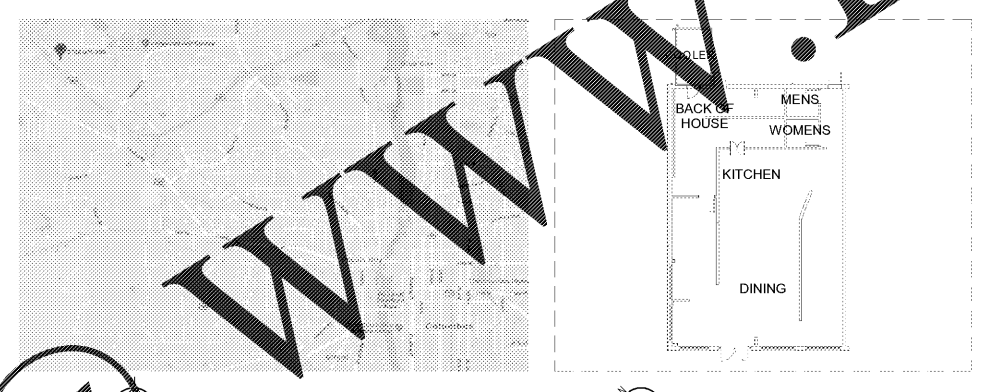
DRAWING INDEX

SHEET	TITLE
MECHANICAL	
M-010	MECHANICAL GENERAL NOTES AND SCHEDULES
M-110	MECHANICAL PLAN
M-200	MECHANICAL ROOF PLAN
M-410	MECHANICAL HOOD DRAWINGS
M-411	MECHANICAL HOOD DRAWINGS
M-412	MECHANICAL HOOD DRAWINGS
M-413	MECHANICAL HOOD DRAWINGS
M-414	MECHANICAL HOOD DRAWINGS
M-510	MECHANICAL DETAILS
PLUMBING	
P-010	PLUMBING GENERAL NOTES AND SCHEDULES
P-110	PLUMBING WASTE AND VENT PLAN
P-120	PLUMBING SUPPLY AND GAS PLAN
P-130	PLUMBING RAIN-IN PLAN
P-410	PLUMBING RAIN-DIAGRAM
P-510	PLUMBING DETAILS
ELECTRICAL	
E-010	ELECTRICAL SYMBOL LEGEND
E-011	ELECTRICAL SPECIFICATIONS
E-110	ELECTRICAL POWER PLAN
E-210	ELECTRICAL LIGHTING PLAN
E-510	ELECTRICAL ROOF PLAN
E-511	ELECTRICAL DETAILS
E-610	ELECTRICAL PANEL SCHEDULES
E-620	ELECTRICAL SCHEDULES



PROJECT CONTACTS

TENANT: OMM HOLDINGS, LLC 1867-C MCFARLAND PKWY. ALPHARETTA, GA 30005 (770) 817-1850 CONTACT: BRIAN FERRIS	STRUCTURAL ENGINEER: GPD GROUP PROFESSIONAL CORPORATION 520 SOUTH MAIN STREET AKRON, OH 44311 (330) 572-2100 CONTACT: ERIK RIOS	MECHANICAL ENGINEER: GPD GROUP PROFESSIONAL CORPORATION 520 SOUTH MAIN STREET AKRON, OH 44311 (330) 572-2100 CONTACT: ERIK RIOS
LANDLORD: HALPERN ENTERPRISES, INC. 5200 ROSWELL RD ATLANTA, GA 30342 (770) 508-3005 CONTACT: GARY HALPERN	ELECTRICAL ENGINEER: GPD GROUP PROFESSIONAL CORPORATION 520 SOUTH MAIN STREET AKRON, OH 44311 (330) 572-2100 CONTACT: ERIK RIOS	PLUMBING ENGINEER: GPD GROUP PROFESSIONAL CORPORATION 520 SOUTH MAIN STREET AKRON, OH 44311 (330) 572-2100 CONTACT: ERIK RIOS
ARCHITECT: GPD GROUP PROFESSIONAL CORPORATION 520 SOUTH MAIN STREET AKRON, OH 44311 (330) 572-2100 CONTACT: ERIK RIOS		



BUILDING DATA

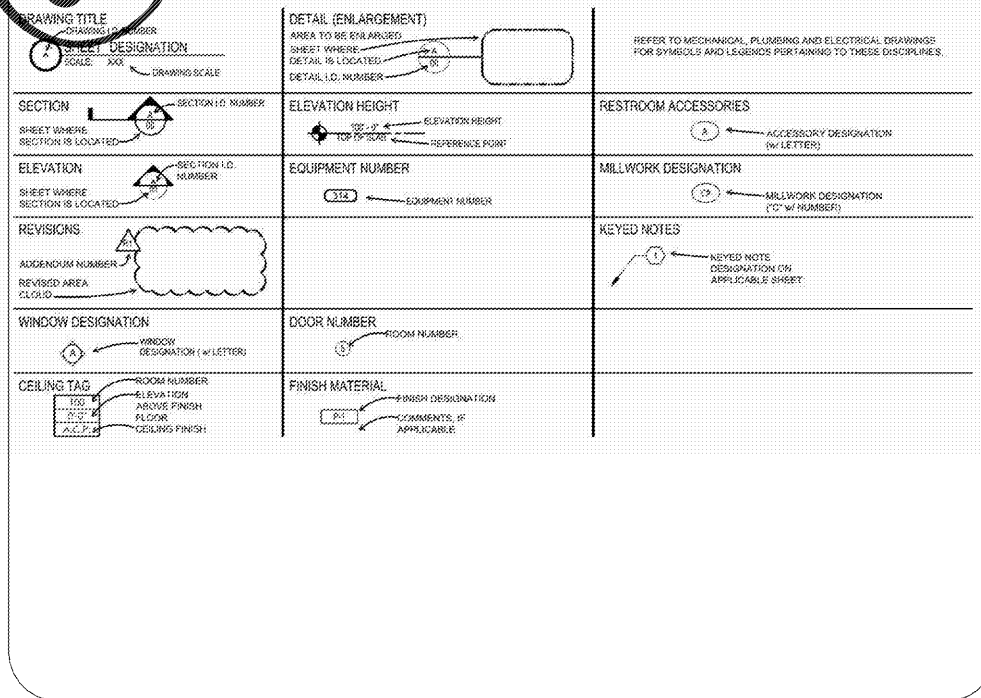
CODE SUMMARY

BUILDING CODE:	2012 INTERNATIONAL BUILDING CODE (IBC)
PLUMBING CODE:	2012 INTERNATIONAL PLUMBING CODE (IPC)
MECHANICAL CODE:	2012 INTERNATIONAL MECHANICA CODE (IMC)
ELECTRICAL CODE:	2014 NATIONAL ELECTRIC CODE
ENERGY CODE:	2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
FIRE CODE:	2012 INTERNATIONAL FIRE PROTECTION ASSOCIATION 101 LIFE SAFETY CODE (NFPA)
ACCESSIBILITY CODE:	2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
FUEL GAS CODE:	2012 INTERNATIONAL FUEL GAS CODE (IFGC)

ABBREVIATIONS

& @ AND AT	FE FIRE EXTINGUISHER	OC ON CENTER
A/C AIR CONDITIONING	FF&E FURNITURE, FIXTURE, AND EQUIPMENT	O.D. OUTSIDE DIAMETER
ACT ACOUSTICAL CEILING TILE	FLR FLOOR	OIC OWNER FURNISHED CONTRACTOR INSTALLED
AFF ABOVE FINISHED FLOOR	FO FACE OF	OPP OPPOSITE
ALUM. ALUMINUM	FH FRONT OF HOUSE	PC PLUMBER CONTRACTOR
ANSI AMERICAN NATIONAL STANDARDS INSTITUTE	FR FIRE RETARDANT TREATED	PLM PLAS MINUTE
APPROX APPROXIMATE	FT FOOT/FEET	PLY PLYWOOD
ARCH ARCHITECT	GA GAUGE	POS POINT OF START
BO BOTTOM OF	G GROUND	PTI PITCH
BD BOARD	GC GENERAL CONTRACTOR	PL PLASTER
BLKG BLOCKING	GYP GYPSUM BOARD	PLR PLASTER
BOH BACK OF HOUSE	HB HOSE BIBB	RECEP RECEPTACLE
BRG BEARING	HC HOLLOW CORE	REF REFERENCE
CAB CABINET	HDW HARDWARE	R REQ REQUIRED
CL CENTER LINE	HM HOLLOW METAL	REV REVISION
CLG CEILING	HR HORIZONTAL	ROU ROUND OPENING
CM OWNER CONSTRUCTION MANAGER	HT HEIGHT	RND ROUND
CMU CONCRETE MASONRY UNIT	HVAC HEATING, VENTILATING, AND AIR CONDITIONING	SB OWNER
CO CLEANOUT	I.D. INSIDE DIAMETER	SC SOLID CORE
CO CONTRACTING OFFICER	I.e. THAT IS	SCW SOLID CORE WOOD
COL COLUMN	INSUL INSULATION	SI SQUARE INCHES
CONC CONCRETE	INT INTERIOR	SF SQUARE FEET
CONT CONTINUOUS	JT JOINT	SHT SHEET
CTR CENTER	KEE KITCHEN EQUIPMENT SUPPLIER	SIM SIMILAR
CX COMMISSIONING AGENT	LAN LANDLORD	SPEC SPECIFICATION
CXA COMMISSIONING AGENT	MEC MECHANICAL CONTRACTOR	SS STAINLESS STEEL
DEG DEGREE	MAX MAXIMUM	STL STEEL
DET DETAIL	MEP "MECHANICAL, ELECTRICAL, AND PLUMBING"	SQ SQUARE
DIAM DIAMETER	MFR MANUFACTURER	T&G TONGUE AND GROOVE
DM DIMENSION	MFR MANUFACTURER	TEMP TEMPORARY
DISP DISPLAY	MOD MODIFIED	THRESH THRESHOLD
DMR DIMENSIONAL MANAGER	MOD MODIFIED	TYP TYPICAL
DN DOWN	MOD MODIFIED	UNO UNLESS NOTED OTHERWISE
DTL DETAIL	MTD MOUNTED	UON UNLESS OTHERWISE NOTED
EA ELECTRICAL CONTRACTOR	MTL METAL	VCT VINYL COMPOSITION TILE
EL ELEVATION	MV MILLWORK VENDOR	VERT VERTICAL
EQ EQUAL	MW MILLWORK VENDOR	VIF VERIFY IN FIELD
EXIST EXISTING	N/A NOT APPLICABLE	WD WITH
EXT EXTERIOR	NIC NOT IN CONTRACT	WW WOOD
	NO NUMBER	WWF WELDED WIRE FABRIC
	NTS NOT TO SCALE	

ARCHITECTURAL SYMBOLS



BUILDING DESIGN

OCCUPANCY CLASSIFICATION PER BUILDING CODE SECTION 303:	A-2 ASSEMBLY
SPRINKLER PROTECTION PER NFPA 13:	NON SPRINKLERED
CONSTRUCTION TYPE PER TABLE 503:	VB COMBUSTIBLE, UNPROTECTED
TOTAL GROSS SQUARE FOOTAGE:	2,515 SF

FIRE RATINGS

INTERIOR FINISHES SHALL BE CLASS C OF III:
- FLAME SPREAD 76 - 200
- SMOKE DEVELOPED 0 - 450

OCCUPANCY

TENANT SQUARE FOOTAGE & OCCUPANT LOAD:		
• DINING & CUSTOMER (NET AREA)	1062 S.F. / 15 =	71 OCCUPANTS
• STANDING AREA	199 S.F. / 5 =	40 OCCUPANTS
• KITCHEN & WALLS (GROSS AREA)	963 S.F. / 200 =	5 OCCUPANTS
• RESTROOM & ALCOVE	161 S.F.	SIMULTANEOUS USE
• COOLER / FREEZER AREA	110 S.F.	SIMULTANEOUS USE / NON-HABITABLE
TOTAL TENANT BUILDING AREA	2,515 S.F.	
TOTAL OCCUPANTS		116 OCCUPANTS
TOTAL SEATS PROVIDED		60 SEATS (SEE SHEET EQ-110)

EXITS

NUMBER OF EXITS	2	PROVIDED	3
MINIMUM CLEAR WIDTH			
• REQUIRED	23.2 IN	PROVIDED	136 IN

PLUMBING

WATER CLOSETS (MALE/FEMALE)			
• REQUIRED	1 / 1	PROVIDED	1 / 1
LAVATORIES (MALE/FEMALE)			
• REQUIRED	1 / 1	PROVIDED	1 / 1
DRINKING FOUNTAINS			
• REQUIRED	1	PROVIDED	0
SERVICE SINK			
• REQUIRED	1	PROVIDED	1

DATE	DESCRIPTION
07/27/18 <td>ISSUE FOR PERMIT</td>	ISSUE FOR PERMIT

DRAFT

MOES SOUTHWEST GRILL
3732 US HWY 280
PHENIX CITY, AL 36867

COVER SHEET

BRAND REVIEW	07/27/2018
PERMIT	07/27/2018
BID	--/--/----
CONSTRUCTION	--/--/----
RECORDED	--/--/----
PROJECT MANAGER	DESIGNER
JB	SC

JOB NO.
2018375.13

A-000