

GENERAL NOTES

- All work shall be prepared in accordance with all currently adopted applicable National, State, & Local Codes & Regulations including the Americans with Disabilities Act.
- The Architect may authorize, at any point, minor changes in work not involving adjustments in contract sum or schedule via Architect's Supplemental Instructions (ASI) which are consistent with the intent of the Contract Documents.
- All Drawings, Specifications, & other documents prepared by the Architect & Architect's consultants are instruments of service solely for this project.
- The General Contractor shall review Plans, Elevations, & Details before determining the elevation of the finished floor above finished grade. Site conditions may require modifications to such design elements as the number of steps to grade, etc - coordinate w/ Architect.
- The General Contractor shall visit the site and surrounding areas to become familiar with the work required prior to any pricing, bidding, on-site construction, or mobilization.
- The Architect shall not be responsible for the construction means, methods, techniques, sequences, or procedures or safety regulations in connection with work. These shall be the sole responsibility of the Contractor under these Construction Documents.
- All existing conditions shall be field verified by the General Contractor prior to construction.
- All dimensions and elevations shall be checked by the General Contractor prior to construction. Any adjustments and / or corrections shall be marked and brought to the attention of the Architect prior to construction.
- All dimensions are taken to the face of stud or outside face of concrete or block unless noted otherwise.
- The contractor is cautioned against scaling construction documents. If any discrepancies exist, the contractor shall contact the architect prior to proceeding with work.
- The General Contractor shall assume responsibility to account for non-typical soils conditions including, but not limited to, the presence of clay or ground water.
- Provide moisture resistant gypsum board (DensGlass/ paperless) in all "wet" areas.
- The General Contractor shall review floor finishes. All finished floors shall be flush to adjacent floor systems whether of similar or dissimilar materials.
- Coordinate location of utility meters with site plan. Minimize visual impact of meters by keeping them as low as possible.
- The General Contractor shall compare Architectural plans and sections with Structural / MEP Plans and Sections, Existing Conditions and report any discrepancies to the Architect prior to bidding, fabrication, erection or installation of any structural / MEP members.
- The General Contractor is responsible for submitting certified fire suppression drawings to the Authority Having Jurisdiction.
- The Contractor is responsible for providing all special inspections as required by Chapter 17 of the International Building Code.

CODE COMPLIANCE

Minimum Standard Codes as Mandated by Fannin County, Georgia:

- International Building Code, 2012 Edition, with Georgia Amendments (2014)
- International Residential Code, 2012 Edition, with Georgia Amendments (2014) (2014 Prescriptive Deck Details)
- International Fire Code, 2012 Edition, with Georgia Amendments (2014)
- International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014)
- International Mechanical Code, 2012 Edition, with Georgia Amendments (2014)
- International Plumbing Code, 2012 Edition, with Georgia Amendments (2014)
- National Electrical Code, 2011 Edition, with no Georgia Amendments
- International Energy Conservation Code, 2009 Edition, with Georgia Supplements and Amendments (2011) (2012)
- 2012 NFPA 101 Life Safety Code
- 2010 ADA Standards

Call the Fannin County Inspections Department Division for the latest addition in force and for any amendments to these codes. Enforcement of these codes is the responsibility of Fannin County and all questions relating to it should be directed to the Building Inspections Department.

2012 International Building / 2012 Life Safety Code Data

Building Occupancy Classification (LSC 2012 Chapter 6)	6.1.14.2.2 - Mixed Occupancy (IBC Mixed Use B, R-1, S-2 - Non-Separated 508.3) Primary Occupancy 'B'		
Area Allowed per Floor (IBC 2012 - Table 503)	50,000 SF / floor (see area modification calculation this sheet)		
Area Provided per Floor	23,000 gsf		
Occupant Load (LSC 2012 - 7.3.1.2 Table)	305 persons		
Type of Construction (IBC 2012 - 602.5)	IIB sprinkled		
Building Height Allowance (IBC 2012 - Table 503)	55'-0"		
Building Height Provided	22'-0"		
High Rise Criteria Invoked	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Building top floor is less than 75' above lowest level for fire truck access)		
Number of Stories Allowed (IBC 2012 - Table 503)	3 Stories		
Number of Stories Provided	1 Stories		
Fire Rating (IBC 2012 - Table 601)	Walls & Partitions	Opening Protectives	
Mixed Occupancy Separation Rating	1-hr Fire Partition at R-1 Occupancy	1/3hr	
Fire Walls (IBC 2012-Table 706.4)	N/A	N/A	
Bearing Walls (Exterior)	0	0	
Bearing Walls (Interior)	0	0	
Corridor Walls (IBC 2012 - Table 1017.1)	1-hr where serving R-1 Occupancy	1/3hr	
Stair wells	N/A	0	
Elevator Walls	N/A	N/A	
Trash Chute Enclosure	N/A	N/A	
Structural Columns	0	0	
Structural Beams	0	0	
Floor / Ceiling Assembly	1-hr at R-1 Occupancy	N/A	
Roof Assembly	0	0	
Smoke Separation / Draftstopping (IBC 2012 - 717.4.3)	Required: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Provided: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Fire Protection System (IBC 2012 - 903.2.8)	None		
Sprinkler System	Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Provided: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Stand Pipes Required	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Fire Extinguishers 10 lb ABC Surface Mounted	Max Distance Allowed: 75 feet		
Stairs (IBC 2012 - 1009.1)	Min. Width Required: 44" Min. Width Provided: 72"		
Number of Floors Connected			
Exits Required (IBC 2012 - Table 1016.1)	Per Building: - 2 Per Floor: - 2		
Horizontal Exits Provided	6		
Travel Distance (IBC 2012 - Table 1016.1)	Maximum Allowed: 300' (sprinkled)	Maximum Provided: 135'-7"	
Dead End Corridor (LSC 2012)	Maximum Allowed: 50'	Maximum Provided: N/A	
Roof Access (IBC 2012)	<input type="checkbox"/> Stair <input type="checkbox"/> Ladder <input type="checkbox"/> Stair Tower <input checked="" type="checkbox"/> N/A		

Fannin Co Public Safety Complex

Fannin County

located at

964 Windy Ridge Road
Blue Ridge, Georgia 30513

SCOPE OF WORK:

Emergency Services Center including a fire-tray fire apparatus garage, 911 center, Emergency Operations Center, training classroom, sleeping area, office and additional support areas.

AREA MODIFICATIONS

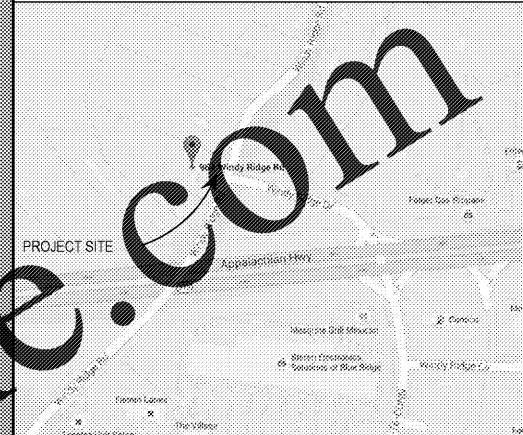
AREA INCREASE PER 2012 IBC 506
Automatic Sprinkler Increase
Aa = (At + [At x Is])
Aa = (23,000 + [9,000 x 3])
Aa = (23,000 + 27,000)
Aa = 50,000

DRAWING INDEX

Civil Drawings are submitted under a separate LDP permit process for Civil Engineering.

Sheet #	Sheet Title	Sheet #	Sheet Title
CS-1	Cover Sheet	S-1.0	Structural Notes
C1	Civil	S-1.1	Structural Foundation/Slab Plans
C2	Civil	S-1.2	Concrete Section
C3	Civil	S-1.3	Misc. and Retaining Wall Sections
C4	Civil	S-2.0	Elevated Slab Plan
C5	Civil	S-2.1	Framing Sections
C6	Civil	S-4.0	Masonry Details
C7	Civil	S-4.1	Bunker Plan/Section
C8	Civil	M-1.1-1	Mechanical Supply & Return
C9	Civil	M-1.1-2	Mechanical Supply & Return
C10	Civil	M-1.1-3	Mechanical Supply & Return
C11	Civil	M-1.2	Mechanical H.V.A.C. Floor Plan - Exhaust, Outside Air, & Controls
C12	Civil	M-2.1	Mechanical H.V.A.C. Schedules
C13	Civil	M-2.2	Mechanical H.V.A.C. Schedules
C14	Civil	M-3.1	Mechanical H.V.A.C. Details
C15	Civil	E-0.1	Electrical Legends and Details - Electrical
C16	Civil	E-0.2	Electrical Schedules and Details - Electrical
AA-1.1	Architectural Base Bid and Add-Alternate Stopping Plan	E-1.0	Electrical Site Plan - Electrical
LSP	Architectural Life Safety Plan	E-1.1	Electrical Power and Data Plan - Electrical
A-0.1	Architectural Site Plan	E-1.2	Electrical Lighting Plan - Electrical
A-0.2	Architectural Bunker Details	E-1.3	Electrical Mechanical Equip and Fire Alarm Plan - Electrical
A-0.3	Architectural Enlarged Ramp Plans	P-0.1	Plumbing Schedules and Abbreviations - Plumbing
A-1.0	Architectural Slab Plan	P-1.1	Plumbing Sanitary and Waste Floor Plan - Plumbing
A-1.1	Architectural Floor Plan	P-1.2	Plumbing Domestic Water Floor Plan - Plumbing
A-1.2	Architectural Attic Plan	P-1.3	Plumbing Natural Gas Floor Plan - Plumbing
A-1.3	Architectural Enlarged Attic Plan	P-1.4	Plumbing Enlarged Floor Plans - Plumbing
A-2.1	Architectural Rafter/Ceiling Plan	P-2.1	Plumbing Domestic Water Isometric - Plumbing
A-3.1	Architectural Roof Plan	P-2.2	Plumbing Sanitary and Waste Isometric - Plumbing
A-4.1	Architectural Exterior Elevations	P-2.3	Plumbing Natural Gas Isometric - Plumbing
A-4.2	Architectural Exterior Elevations	P-4.1	Plumbing Details - Plumbing
A-5.1	Architectural Sections & Details		
A-5.2	Architectural Sections & Details		
A-5.3	Architectural Sections & Details		
A-5.4	Architectural Sections & Details		
A-6.1	Architectural Interior Elevations		
A-6.2	Architectural Interior Elevations		
A-6.3	Architectural Interior Elevations		
A-6.4	Architectural Interior Elevations		
A-6.5	Architectural Interior Elevations		
A-6.6	Architectural Interior Elevations		
A-7.1	Architectural Finish Schedule and Legend		
A-7.2	Architectural Door, Window, and Wall Schedule		
A-7.3	Architectural Door and Window Elevations		
A-8.1	Architectural General Accessibility Detail		
A-8.2	Architectural Accessible Plumbing Details		
A-8.3	Architectural Misc. Accessibility Detail		
A-8.4	Architectural Site Details and Access Points		
A-9.1	Architectural Floor Finish Plan		

VICINITY MAP



PROJECT TEAM

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Order Plans